

#### DIMENSIONING CONVENTION

ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, OR OF EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. COORDINATES SHOWN ARE BASED ON ASSUMED ORIGIN, AND THE NORTH MERIDIAN SHOWN. THESE COORDINATES ARE VALID ONLY FOR THE SUBJECT DEVELOPMENT. POINTS LABELED 'CWA #' ARE FIELD SURVEY TRAVERSE POINTS AND ARE TO BE USED FOR HORIZONTAL CONTROL STAKEOUT FOR THIS PROJECT.

#### STRIPING NOTES

AUTOMOBILE PARKING SPACE STRIPING SHALL BE STANDARD WHITE TRAFFIC PAINT. LINES SHALL BE 4" WIDE, OF LENGTHS SHOWN, AND SPACED ON CENTER AS SHOWN. "NO PARKING" AREAS SHALL HAVE 4" WIDE YELLOW DIAGONAL STRIPES ON 2' CENTERS, AS SHOWN. HANDICAP-ONLY SPACES SHALL BE STRIPED USING BLUE TRAFFIC PAINT, WITH THE INTERNATIONAL ACCESSIBILITY SYMBOL IN BLUE PAINT.

#### HANDICAP SIGNAGE

EACH HANDICAP-ONLY PARKING STALL SHALL BE DESIGNATED AS SUCH WITH AN ABOVE-GRADE "HANDICAP-ONLY" SIGN, IN CONFORMANCE WITH ADA REGULATIONS. SIGNS MAY BE EITHER POLE MOUNTED (2" DIA. MIN.) OR BUILDING MOUNTED AT THE CONTRACTORS OPTION.

#### GENERAL LANDSCAPING NOTES

- ALL LANDSCAPE PLANTINGS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- ALL LANDSCAPE PLANTINGS SHALL CONFORM TO STANDARDIZED PLANT NAME AND SHALL BE WELL-FORMED, TRUE TO TYPE AND HAVE WELL-DEVELOPED ROOT SYSTEMS. ALL PLANTINGS SHALL BE SOUND, HEALTHY, AND FREE FROM DEFECTS.
- ALL PLANTING SHALL BE DONE DURING PROPER SEASON AND NO PLANTING SHALL BE DONE IN FROZEN SOIL OR DURING UNFAVORABLE WEATHER CONDITIONS.
- ALL TREES ARE TO BE LOCATED WITH RESPECT TO EXISTING OR PROPOSED UTILITIES.
- MULCH ALL PLANTINGS WITH A MINIMUM OF THREE INCHES OF SHREDDED OR CHIPPED MULCH.
- ADJUSTMENTS MAY BE NECESSARY DUE TO PLANT AVAILABILITY.
- DUE TO ON-SITE CONDITIONS, IN-FIELD ADJUSTMENTS MAY BE NECESSARY.
- THE LANDSCAPING SHOWN IN PER LOCAL ZONING ORDINANCE. THE OWNER IS ENCOURAGED TO PROVIDE ADDITIONAL LANDSCAPING, WITH RESPECT TO UTILITIES AND VEHICULAR SIGHT DISTANCES.
- TREES SHALL BE PLANTED IN ACCORDANCE WITH DETAIL (H) OF THESE PLANS.

#### EXTERIOR LIGHTING

ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ONTO ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT-CANDLES.

#### FIRE LANE REQUIREMENTS

ALL CURBS NOT IMMEDIATELY ADJOINING PARKING STALLS SHALL BE PAINTED YELLOW AND MARKED "NO PARKING-FIRE LANE". EDGES OF PAVEMENT NOT ADJOINING PARKING STALLS SHALL BE MARKED WITH A 4" WIDE YELLOW STRIPE AND PAVEMENT MARKINGS "NO PARKING-FIRE LANE".

#### BUSINESS SIGNAGE

AT THE TIME OF PLAN PREPARATION, THE SIZE AND LOCATION OF THE PRIME SIGN FOR THIS FACILITY IS NOT YET DETERMINED. THE CONTRACTOR SHALL SUBMIT TO THE COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT THE SIZE, TYPE AND LOCATION OF ANY PROPOSED SIGNAGE FOR APPROVAL AND ISSUANCE OF A SIGN PERMIT PRIOR TO ITS CONSTRUCTION.

#### ROOFTOP SCREENING

ALL ROOFTOP AND GROUND MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH THE ROANOKE COUNTY ZONING ORDINANCE.

#### SCREENING AND BUFFER YARD NOTE

PURSUANT TO THE ROANOKE COUNTY ZONING ORDINANCE, THIS PROJECT REQUIRES A TYPE 'E' SCREENING & BUFFER YARD ON THE WEST SIDE OF THE SITE. REQUIREMENTS ARE AS FOLLOWS:

6' SCREENING  
50' BUFFER YARD  
ONE LARGE TREE AND TWO SMALL TREES PER 30'  
EIGHT SHRUBS PER 10'

THE PROPOSED 35' BUFFER YARD IS 17.5% OF THE DEVELOPED SITE. PROPOSED PLANTINGS IN THIS AREA SUPPLEMENT THE EXISTING WHITE PINE TREES (10"-24" DIA.) AND GROUND COVER. A 6' SCREENING FENCE IS TO BE LOCATED IN THE BUFFER YARD.

PNT.	TRAVERSE COORDINATES			
1	N 4683.2783	E 4949.4947	1171.83	BR/SPK SET
2	N 4784.3361	E 4741.9380	1178.82	IPF
3	N 4700.4319	E 4943.2052	1170.33	IPF
4	N 4598.2212	E 4902.7879	1167.75	IPF

#### SITE SUMMARY

AREA OF SITE: 0.63 AC.  
ZONED: I-2 INDUSTRIAL  
TAX PARCEL: 87.14-3-1.6

PROPOSED BUILDING HEIGHT=±20'  
MAXIMUM BUILDING HEIGHT=75'

LOT COVERAGE  
AREA OF COVERAGE = 17,029 SQ. FT.  
AREA OF LOT=27,443 SQ. FT.  
LOT COVERAGE=62.1%±90% MAX.

BUILDING COVERAGE  
AREA OF BUILDING=7250 SQ. FT.  
AREA OF LOT=27,443 SQ. FT.  
BUILDING COVERAGE=26.4%±75% MAX.

SETBACK REQUIREMENTS  
FRONT YARD = 30 FT.  
SIDE YARD = 10 FT.  
REAR YARD = 15 FT

PARKING REQUIREMENTS  
OFFICE SPACE: 1 PER 300 SQ. FT.  
WAREHOUSE SPACE: 1 PER 5000 SQ. FT.

REQUIRED  
2400 SQ. FT. OFFICE=8 SPACES  
4850 SQ. FT. WAREHOUSE=1 SPACE  
TOTAL REQUIRED: 9 SPACES

PROVIDED  
17 STD. PARKING SPACES  
1 HANDICAP-ONLY SPACE

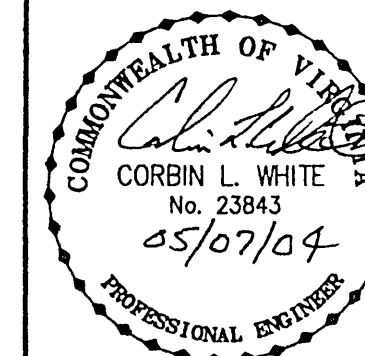
EXISTING GRAVEL SURFACE TO BE PAVED FOLLOWING CONSTRUCTION. SEE SHEET 4 OF 8 FOR GRADING PLAN. SEE DETAIL SHEET 5

ON-SITE AREAS TO RECEIVE NEW FULL-DEPTH PAVEMENT. SEE DETAIL SHEET 5.

EXISTING ASPHALT PAVEMENT TO REMAIN UNDISTURBED.

#### PLANTING LIST

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY.	SIZE AT PLANTING	CONDITION
○	Wintergreen Barberry	"Berberis julianae"	10	Min. 18" Ht.	B&B
●	Red Sunset Maple	"Acer Rubrum 'Red Sunset'"	6	2 1/2" Min. Cal.	B&B



Designed: JWK/CLW  
Drawn: JWK  
Checked: CLW  
Date: FEB. 27, 2004  
Rev: MAY 7, 2004  
Scale: 1"=10'  
Tax Parcel: 087.14-03-01.05  
W.O. No.: 03-0125  
F.B. No.: WES-22

#### DIMENSIONAL LAYOUT AND LANDSCAPING PLAN

FOR

ANDRE PERDUE

SHOWING A NEW 7250 SQ. FT. BUILDING AND ASSOCIATED IMPROVEMENTS  
SITUATE LOT 1 SOUTHWEST INDUSTRIAL PARK, PHASE II (PB 11, PG 57)  
COMMONWEALTH DRIVE (VA. SEC. RTE. 1723)  
CAVE SPRING MAGISTERIAL DISTRICT  
COUNTY OF ROANOKE, VA



CALDWELL WHITE ASSOCIATES

ENGINEERS / SURVEYORS / PLANNERS

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