



ADDITIONAL GENERAL NOTES

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS AND AS SHOWN BY AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

CONTRACTOR SHALL COORDINATE SITE WORK WITH BUILDING PLANS.

SITE NOTES

1. FILL PLACED UNDER NEW BUILDINGS, CONCRETE PADS, FILL SLOPES OR PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% OF ASTM D698, STANDARD PROCTOR. FILL PLACED IN GRASS OR LANDSCAPED AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% OF ASTM D-698, STANDARD PROCTOR.
2. OFF-SITE AREAS: THE CONTRACTOR HOLDING THE LAND DISTURBING PERMIT FOR THIS PROJECT IS REQUIRED TO PROVIDE TO THE ROANOKE COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT THE LOCATION OF ALL OFF-SITE BORROW/FILL AREAS ASSOCIATED WITH THIS PROJECT. AN EROSION CONTROL PLAN MAY BE REQUIRED FOR THOSE AREAS.
3. ALL DENUDED AREAS SHALL BE PERMANENTLY SEEDED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE. TEMPORARY SEEDING SHALL BE APPLIED, WITHIN SEVEN (7) DAYS, TO DENUDED AREAS NOT AT FINAL GRADE BUT THAT WILL REMAIN UNDISTURBED FOR MORE THAN 30 DAYS.
4. ANY SOIL STOCKPILED ON-SITE SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPS OR OTHER PROTECTIVE MEASURES.
5. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.

GENERAL GRADING REQUIREMENTS

ALL FINISH GRADE CONTOURS AND SPOT ELEVATIONS SHOWN HEREIN ARE TO THE UPPER ELEVATION OF THE SPECIFIC ELEMENT. THE CONTRACTOR SHALL ACCOUNT FOR THE THICKNESS OF THE FINISH SURFACE (TOPSOIL, PAVEMENT, LANDSCAPE MULCH, ETC.) IN GRADING OF THE SITE.

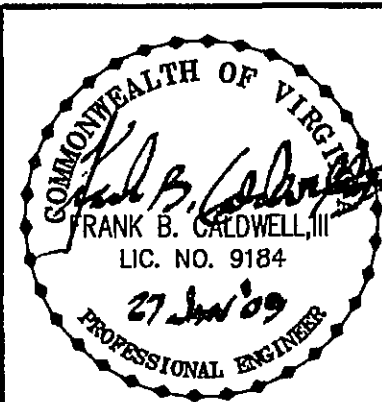
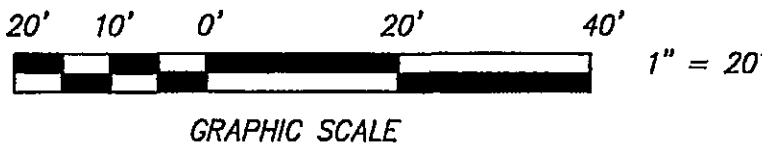
ELECTRIC SERVICE NOTES

LOCATION OF NEW ELECTRIC AND RELOCATED SERVICE(S) TO NEW AND EXISTING FACILITIES IS NOT SHOWN IN THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY NEW ELECTRICAL SERVICE REQUIREMENTS AND LOCATION OF CONNECTION(S) TO ALL STRUCTURES WITH OWNER, APPLICABLE BUILDING PLANS AND AEP.

SITE CONDITIONS-#28-06/1989

1. THE PROPERTY WILL BE USED ONLY FOR CONCRETE PRODUCTION, STORAGE AND RELATED USES;
2. THE PETITIONER WILL SUBSTANTIALLY COMPLY WITH THE ATTACHED SITE PLAN;
3. THE PETITIONER WILL PROVIDE SCREENING IN ACCORDANCE WITH THE EXISTING ZONING ORDINANCE;
4. PETITIONER WILL NOT USE SIGNAGE EXCEEDING 200 SQUARE FEET OR EXCEEDING 20 FEET IN HEIGHT.

APPROVED



SITE GRADING & UTILITY
SERVICES PLAN
FOR
CONCRETE SPECIALTIES, INC.

SITUATE 16TH STREET AND UNDERHILL AVENUE
VINTON MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA



CALDWELL WHITE ASSOCIATES

ENGINEERS / SURVEYORS / PLANNERS

4203 MELROSE AVENUE, N.W.
P.O. BOX 6280
ROANOKE, VIRGINIA 24017
(540) 366-3400
FAX: (540) 366-8702

Designed: JWK
Drawn: JWK
Checked: FBC
Date: SEPT. 18, 2008
Rev: JAN. 27, 2009
Scale: 1" = 20'
Tax Parcel: 70.11-1-20.21.1.22
W.D. No.: 08-0074