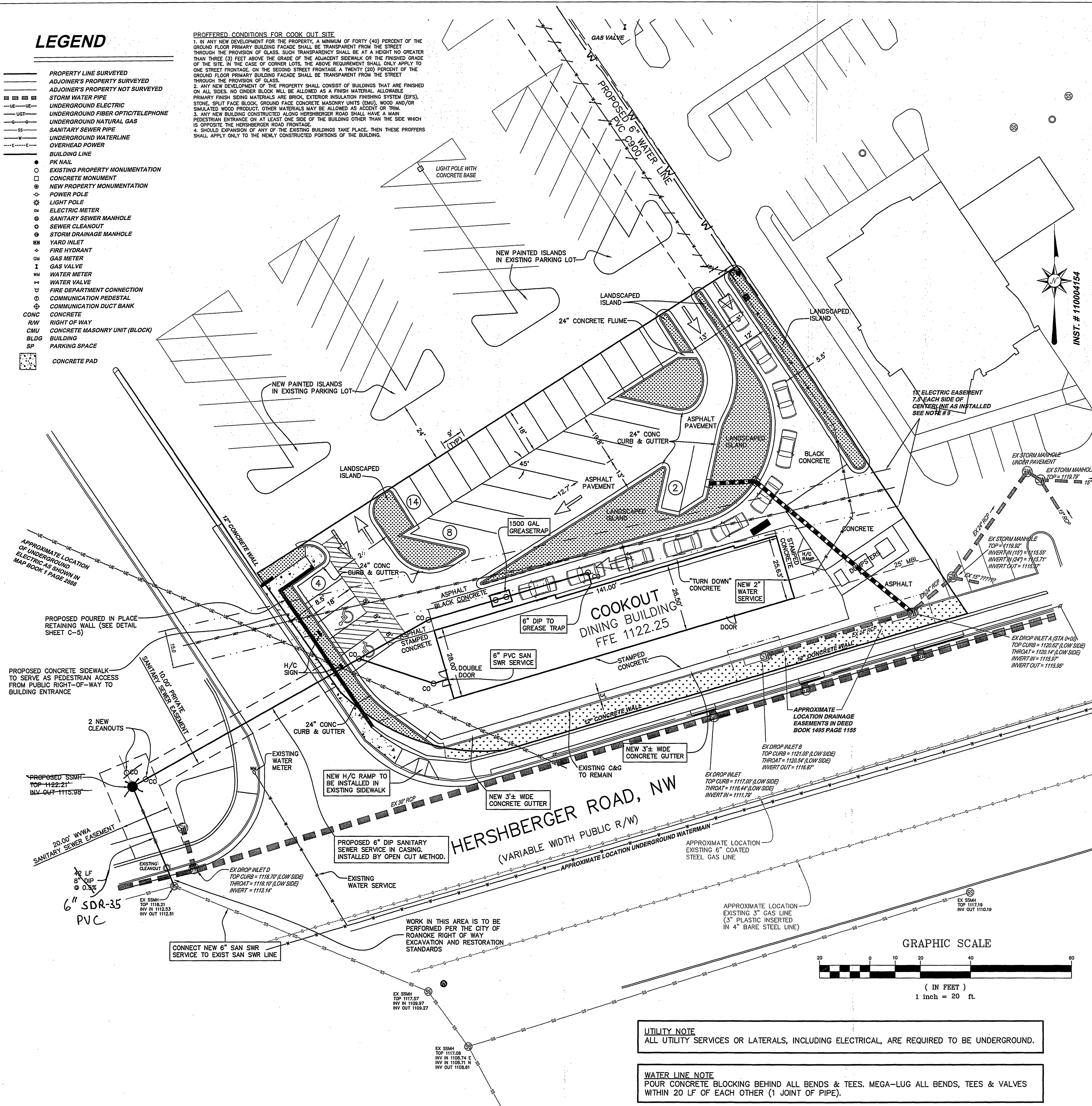


LEGEND

---	PROPERTY LINE SURVEYED
---	ADJOINER'S PROPERTY SURVEYED
---	ADJOINER'S PROPERTY NOT SURVEYED
---	STORM WATER PIPE
---	UNDERGROUND ELECTRIC
---	UNDERGROUND FIBER OPTIC/TELEPHONE
---	UNDERGROUND NATURAL GAS
---	SANITARY SEWER PIPE
---	UNDERGROUND WATERLINE
---	OVERHEAD POWER
---	BUILDING LINE
●	PK NAIL
○	EXISTING PROPERTY MONUMENTATION
□	CONCRETE MONUMENT
○	NEW PROPERTY MONUMENTATION
○	POWER POLE
○	LIGHT POLE
○	ELECTRIC METER
○	SANITARY SEWER MANHOLE
○	SEWER CLEANOUT
○	STORM DRAINAGE MANHOLE
○	YARD INLET
○	FIRE HYDRANT
○	GAS METER
○	GAS VALVE
○	WATER METER
○	WATER VALVE
○	FIRE DEPARTMENT CONNECTION
○	COMMUNICATION PEDESTAL
○	COMMUNICATION DUCT BANK
CONC	CONCRETE
R/W	RIGHT OF WAY
CMU	CONCRETE MASONRY UNIT (BLOCK)
BLDG	BUILDING
SP	PARKING SPACE
■	CONCRETE PAD

PROFFERED CONDITIONS FOR COOK OUT SITE

1. IN ANY NEW DEVELOPMENT FOR THE PROPERTY, A MINIMUM OF FORTY (40) PERCENT OF THE GROUND FLOOR PRIMARY BUILDING FACADE SHALL BE TRANSPARENT FROM THE STREET THROUGH THE PROVISION OF GLASS. SUCH TRANSPARENCY SHALL BE AT A HEIGHT NO GREATER THAN THREE (3) FEET ABOVE THE GRADE OF THE ADJACENT SIDEWALK OR THE FINISHED GRADE OF THE SITE. IN THE CASE OF CORNER LOTS, THE ABOVE REQUIREMENT SHALL ONLY APPLY TO ONE STREET FRONTAGE. ON THE SECOND STREET FRONTAGE A TWENTY (20) PERCENT OF THE GROUND FLOOR PRIMARY BUILDING FACADE SHALL BE TRANSPARENT FROM THE STREET THROUGH THE PROVISION OF GLASS.
2. ANY NEW DEVELOPMENT OF THE PROPERTY SHALL CONSIST OF BUILDINGS THAT ARE FINISHED ON ALL SIDES. NO CONCRETE BLOCK WILL BE ALLOWED AS A FINISH MATERIAL. ALLOWABLE PRIMARY FINISH SIDING MATERIALS ARE BRICK, EXTERIOR INSULATION FINISHING SYSTEM (EIFS), STONE, SPILT FACE BLOCK, GROUND FACE CONCRETE MASONRY UNITS (GCMU), WOOD AND/OR SIMULATED WOOD PRODUCT. OTHER MATERIALS MAY BE ALLOWED AS ACCENT OR TRIM.
3. ANY NEW BUILDING CONSTRUCTED ALONG HERSHBERGER ROAD SHALL HAVE A MAIN PEDESTRIAN ENTRANCE ON AT LEAST ONE SIDE OF THE BUILDING OTHER THAN THE SIDE WHICH IS OPPOSITE THE HERSHBERGER ROAD FRONTAGE.
4. SHOULD EXPANSION OF ANY OF THE EXISTING BUILDINGS TAKE PLACE, THEN THESE PROFFERS SHALL APPLY ONLY TO THE NEWLY CONSTRUCTED PORTIONS OF THE BUILDING.



FLOOD CERTIFICATION

THIS PROPERTY LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 51030 0154 G, REVISED SEPTEMBER 28, 2007.

ZONING

COMMERCIAL GENERAL
FRONT SETBACK = 30' (SEE ORDINANCE FOR REDUCTION REQUIREMENTS)
SIDE SETBACK = 0'
REAR SETBACK = 0'
MAXIMUM BUILDING HEIGHT = 50'

SITE NOTES

1. TOTAL AREA IS 0.671 ACRES, MORE OR LESS.
2. SURVEY PRECISION: 1 IN 148,687
3. DATE OF FIELD SURVEY: 4-19-2012
4. AREAS SHOWN ARE CALCULATED BY COORDINATES UNLESS OTHERWISE NOTED.
5. GRADE = EXISTING GROUND LEVEL. PROPERTY MONUMENTATION REFERENCED AS A DISTANCE ABOVE OR BELOW GRADE REFERS TO TOP OF MONUMENT ABOVE OR BELOW EXISTING GROUND LEVEL.
6. SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
7. CURRENT OWNER: FAIRWAY ROANOKE LLC
8. DEED REFERENCE: INSTRUMENT # 090011250
9. DEED BOOK 1488 PAGE 1372 CALLS FOR 10' EASEMENT, BUT ATTACHED REFERENCED PLAT CALLS FOR 15' ELECTRIC EASEMENT THROUGH SUBJECT PROPERTY.
10. THIS IS A RESURVEY OF AN EXISTING PARCEL. NO LINES WERE CREATED AND/OR VACATED.
11. IMPERVIOUS AREA (PRE-DEVELOPMENT) 27642 SF - 94.6%
IMPERVIOUS AREA (POST-DEVELOPMENT) 24237 SF - 82.95%
12. FLOOR AREA RATIO
3796 SF / 29218 SF = 12.99%

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

1. RIGHT-OF-WAY EXCAVATION PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OF CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
2. LAND DISTURBANCE PERMIT: AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
3. PLANS AND PERMITS: A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
6. STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.
9. APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGES OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
10. FINAL ACCEPTANCE/CITY: THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FPS 4502 FEET, US SURVEY FEET, DATUM NAD 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

CONSTRUCTION SEQUENCE:

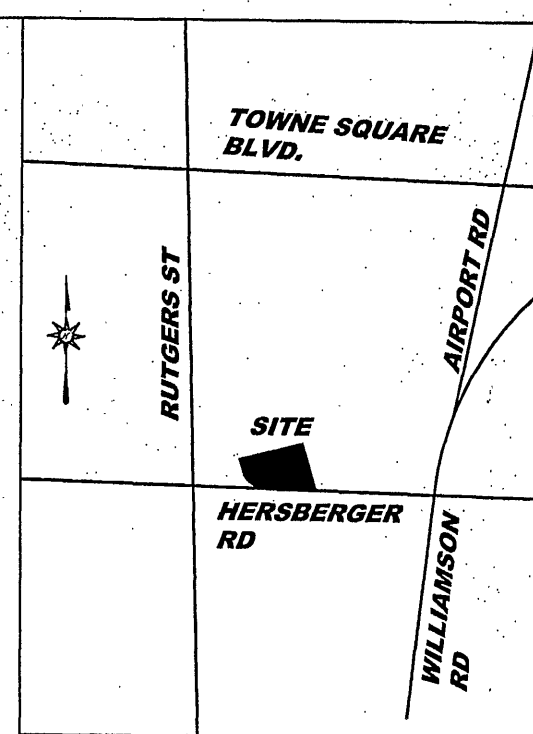
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

1. UPON SELECTION OF A CONTRACTOR, A RESPONSIBLE LAND DISTURBER (RLD) CURRENTLY REGISTERED WITH THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION MUST BE IDENTIFIED FOR THE PROJECT PRIOR TO ISSUANCE OF A LAND DISTURBANCE PERMIT.
2. LAND DISTURBANCE PERMIT AND A COPY OF THE STAMPED APPROVED SET OF PLANS WILL BE ISSUED AT A PRE-CONSTRUCTION CONFERENCE. BOTH OF THESE DOCUMENTS ARE REQUIRED TO BE ISSUED PRIOR TO ANY CONSTRUCTION AND BOTH MUST BE KEPT ON SITE AT ALL TIMES.
3. SAW OUT AND REMOVE EXISTING ASPHALT TO STONE BASE.
4. ADD ADDITIONAL STONE AS REQUIRED TO PROVIDE AN ADEQUATE TEMPORARY CONSTRUCTION ENTRANCE.
5. INSTALL SILT FENCE AND TEMPORARY INLET PROTECTION (WIRE AND STONE) AT EXISTING INLET A.
6. REMOVE EXISTING INLET B AND PROTECT PIPE WITH INLET PROTECTION (WIRE & STONE)
7. INSTALL CURB INLETS 1 & 2 AND ASSOCIATED PIPING. INSTALL INLET PROTECTION.
8. INSTALL SANITARY SEWER SERVICE TO GREASE TRAP.
9. INSTALL WATER SERVICE TO SITE.
10. GRADE/EXCAVATE FOR BUILDING PAD & FOUNDATION AREA.
11. CONSTRUCT BUILDING.
12. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES FOR THE ENTIRE PROJECT.
13. FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS REQUIRED.
14. FINE GRADE PARKING AREA, ADD STONE WHERE NEEDED.
15. FINE GRADE AND SEED OR SOD DISTURBED AREAS.
16. REMOVE ALL EROSION CONTROL STRUCTURES.
17. REMOVED ACCUMULATED SILT FROM ALL EXISTING DRAINAGE AS REQUIRED.

LIGHTING PLAN NOTE
AN APPROVED LIGHTING PLAN IN ACCORDANCE WITH SECTION 36.2-624 OF THE ROANOKE, VA ZONING ORDINANCE IS REQUIRED BEFORE ANY LIGHTING IS INSTALLED.

VEGETATION LEGEND

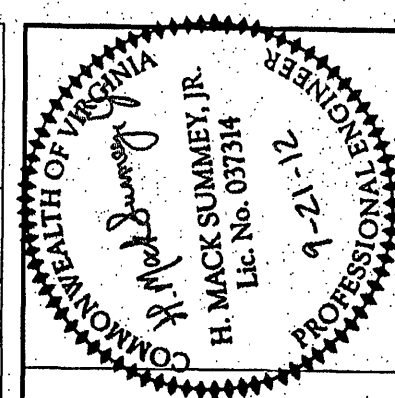
EXISTING VEGETATION	
PROPOSED VEGETATION	



VICINITY MAP
NOT TO SCALE

PARKING SUMMARY:

3796 SQ FT GROSS FLOOR AREA IN EATING ESTABLISHMENT
0.75 x GROSS FLOOR AREA
0.75 X 3796 SF = 2847 SF
29 SP x 80% = 23.2 SP
* 24 SPACES REQUIRED
28 SPACES PROVIDED INCLUDES 2 VAN ACCESSIBLE
* REDUCTION TO PROXIMITY TO PUBLIC TRANSIT. (36.2-652)



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Rev.	Date	Description
1	06/08/12	REVISED PER CITY OF ROANOKE COMMENTS TO SUIT FIRE MARSHAL ROANOKE COMMENTS DELETED LIGHTING INFORMATION DELETED PROPOSED WATER LINE LOCATION
2	08/20/12	
3	08/30/12	
4	09/18/12	
5	09/19/12	

SITE AND UTILITY PLAN

COOKOUT RESTAURANT

1423 HERSHBERGER ROAD, N W
ROANOKE, VIRGINIA

Scale	NOTED
Date: APRIL, 2012	
Drawn By: NK	
Checked By: HWSJ	
Job No.: E-2362	

Sheet No.

C-3

3 of 11

APPROVED
SEP 24 2012

As-Built 12.21.12 K. Winslow