

SITE & ZONING SUMMARY:

SITE ADDRESS: 4038-4056 CROSSMILL LN
SALEM, VA 24153

OWNER: RONALD L MORAN, TRINA MORAN
3050 DREXEL DR
SALEM, VA 24153

MICHAEL JAMES BOYTON, SHIRLEY ANNIE BOYTON
4056 CROSSMILL LN
SALEM, VA 24153





EXISTING LOT SIZE:
055-03-03-35.00-0000 3.02 AC
055-03-03-41.00-0000 0.98 AC
055-03-03-42.00-0000 0.98 AC
055-03-03-43.00-0000 0.98 AC
055-03-03-44.00-0000 0.98 AC

EXISTING ZONING: R1 - LOW DENSITY RESIDENTIAL DISTRICT
PER ORDINANCE 051022-13 ZONING: I1 - LOW INTENSITY INDUSTRIAL DISTRICT

ZONING REQUIREMENTS (R-1):
MINIMUM LOT AREA: 7,200 SF IF SERVED BY PUBLIC WATER AND SEWER
FRONTAGE: 60' IF SERVED BY PUBLIC WATER AND SEWER
SETBACKS:
FRONT: 30'
SIDE: PRINCIPAL STRUCTURES 10'
ACCESSORY STRUCTURES 10' BEHIND FRONT BUILDING LINE, 3' BEHIND REAR BUILDING LINE
REAR: 25', 3' FOR PRINCIPAL STRUCTURES
MAXIMUM BUILDING HEIGHT: 45'
MAXIMUM BUILDING COVERAGE: 35%
MAXIMUM LOT COVERAGE: 50%

ZONING REQUIREMENTS (I-1):
MINIMUM LOT AREA: 15,000 SF IF SERVED BY PUBLIC WATER AND SEWER
FRONTAGE: 75' IF SERVED BY PUBLIC WATER AND SEWER
SETBACKS:
FRONT: 30' / 20' IF ALL PARKING LOCATED BEHIND FRONT BUILDING LINE
SIDE: PRINCIPAL STRUCTURES 10'
ACCESSORY STRUCTURES BEHIND FRONT BUILDING LINE, 3' FROM SIDE LINE
REAR: 15', 3' FOR ACCESSORY STRUCTURES
MAXIMUM BUILDING HEIGHT: UNLIMITED/45' IF ADJOINING RESIDENTIAL PROPERTY
MAXIMUM BUILDING COVERAGE: 50%
MAXIMUM LOT COVERAGE: 90%

EASEMENT LEGEND:

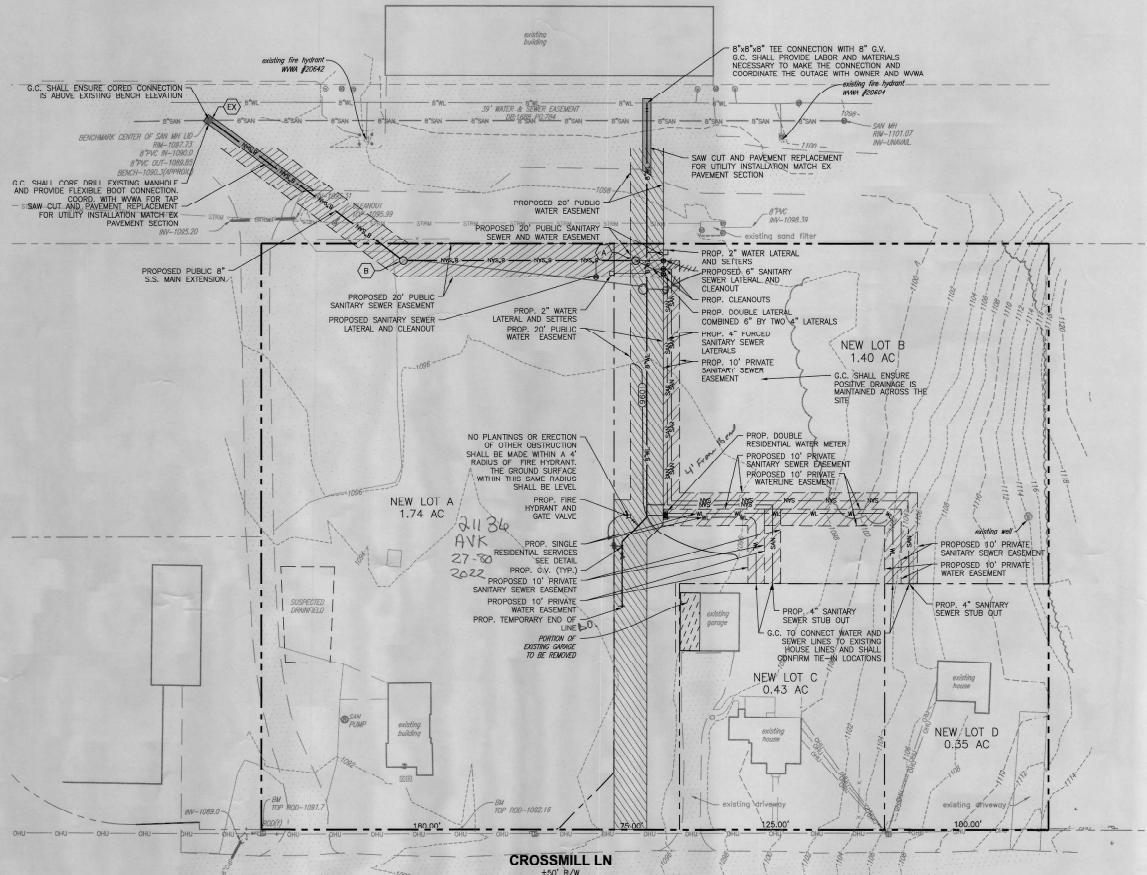
-  PUBLIC WATERLINE EASEMENT
-  PUBLIC SANITARY SEWER EASEMENT
-  PUBLIC WATERLINE AND SANITARY SEWER EASEMENT
-  PRIVATE UTILITY EASEMENT

FIRE FLOW DATA:

EXISTING FLOW DATA PER TEST PERFORMED BY THE WWA ON 8/15/2022:

HYD-20642
STATIC PRESSURE: 73 PSI
FLOW: 349 GPM @ 54 PSI RESIDUAL
CALCULATED FLOW: 1,852 GPM @ 20 PSI RESIDUAL

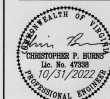
PROPOSED FLOW DATA:
PROPOSED HYDRANT
STATIC PRESSURE: 74 PSI
FLOW: 1,550 GPM @ 20 PSI RESIDUAL



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
Shenandoah Valley
New River Valley / Lynchburg
www.balzer.cc

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Roanoke, VA 24018
952.772.9885



CROSSMILL LANE WATER & SEWER EXTENSION

LAYOUT AND UTILITY PLAN

DRAWN BY: AAK
DESIGNED BY: CPB
CHECKED BY: CPB
DATE: 02/20/2022
SCALE: 1" = 30'
REVISIONS:
12/01/2022

C3
PROJECT NO. 04210005.01

APPROVED, 11/1/2022