



- NOTICE: All Landowners, Developers and Contractors
- FAILURE TO COMPLY WITH THE CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, THE DELAYS OF THE ISSUANCE OF A STOP WORK ORDER.
- CONSTRUCTION PROCEDURE REQUIREMENTS
1. Right-of-Way Excavation Permit - Prior to the commencement of any digging, alteration or construction within the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.
 2. Land Disturbance Permit - An approved erosion and sediment control plan for any property/lot shall accompany the project must be submitted prior to the issuance of a land disturbance permit.
 3. Plans and Permits - A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
 4. Location of Utilities - The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
 5. Construction Entrance - The contractor shall install an adequate construction entrance to all construction-related areas from the site. Size and composition of construction entrance shall be as shown on the plans.
 6. Streets to Remain Clean - It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
 7. Barriercut/Ditches - The contractor shall maintain the integrity of all existing ditches and shall furnish and ensure that all barriercuts proper and necessary for the safety of the public are in place.
 8. Storm and Sewerage Replacement - Construction of sanitary sewers and the replacement of storm sewers shall be in accordance with the specifications of the City of Roanoke and the Western Virginia Water Authority.
 9. Approved Plans/Construction Changes - Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.
 10. Final Acceptance/Closeout - The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a field surveyed final project set of construction plans of the newly constructed storm rain and/or stormwater management system. The project set shall include a certificate of final acceptance by the City. As-built plans shall be submitted to the City, South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NAD 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

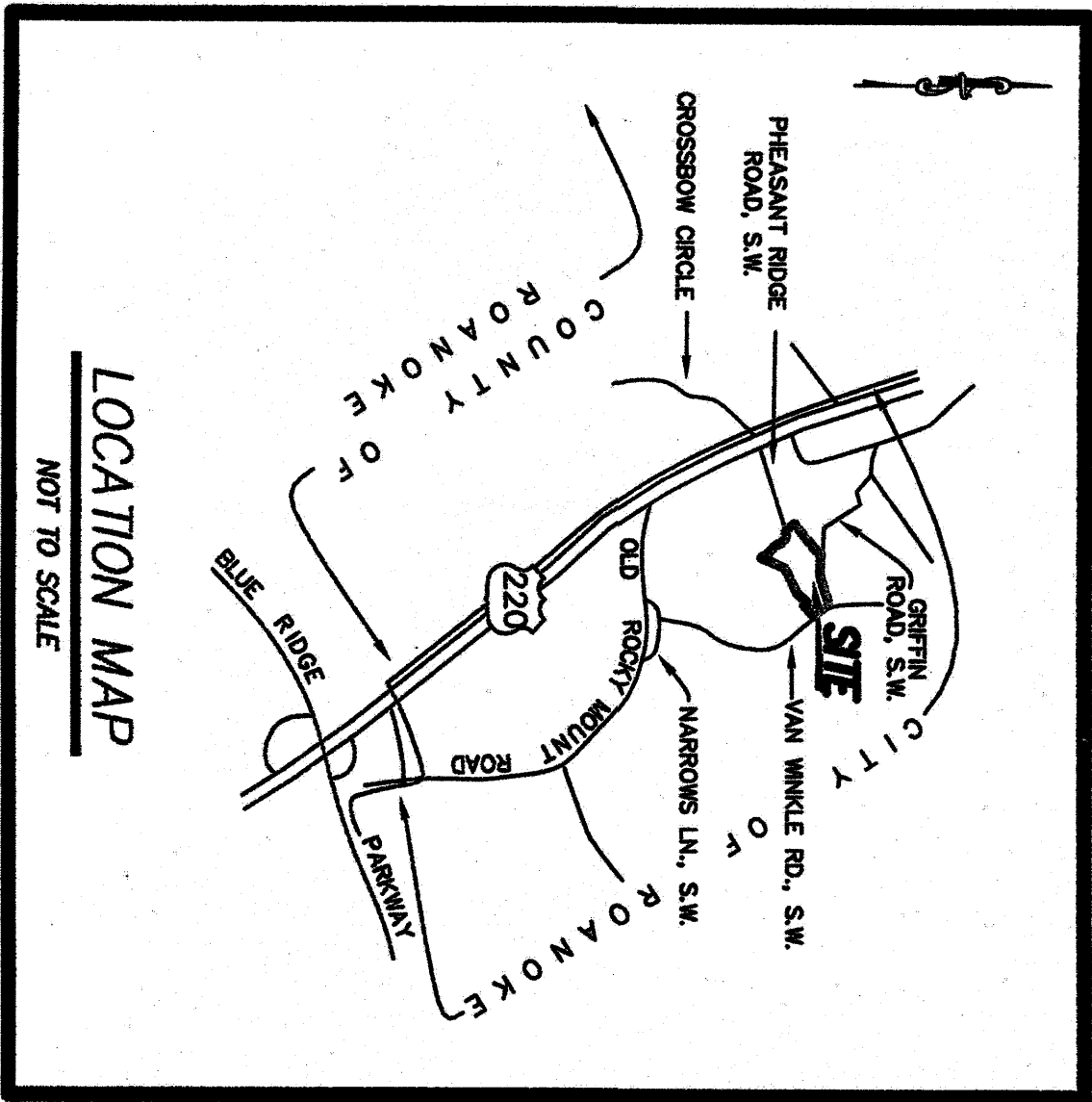
DEVELOPMENT PLAN FOR PHEASANT RIDGE APARTMENTS

SITUATED ALONG
4414 PHEASANT RIDGE ROAD, SW
TAX MAP #5460124
THE CITY OF ROANOKE, VIRGINIA
DATE: August 28, 2013

PREPARED FOR
SMITH/PACKETT MED-COM, L.L.C.

CONDITIONS (ORDINANCE #39610-031813):

- THE FOLLOWING REQUESTS THAT THE FOLLOWING PROPOSED CONDITIONS BE ADOPTED AS THEY RELATE TO THE REZONING OF THE PARCELS SHOWN HEREON.
1. THAT THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE CONCEPTUAL SITE PLAN PREPARED BY LUMSDEN ASSOCIATES, P.C., DATED FEBRUARY 1, 2013, LABELED AS EXHIBIT "A-1", WITH THE GREEN ROAD SECTION DATED JANUARY 2, 2013, LABELED AS EXHIBIT "A-2", AND WITH THE ARCHITECTURAL ELEVATIONS DATED NOVEMBER 1, 2012, LABELED AS EXHIBIT "B".
 2. THAT THE PROPERTY SHALL BE USED ONLY FOR THE PURPOSE OF MULTIFAMILY DWELLINGS AND A HEALTH AND FITNESS CENTER.
 3. THAT A LANDSCAPED BUFFER AREA 30' IN WIDTH WILL BE ESTABLISHED AND MAINTAINED WITH A MATURE OR DECIDUOUS AND EVERGREEN TREES AND SHRUBS PLANTED AT THE PROPERTY LINE. PLANT SPACING AT TIME OF PLANTING IS SHOWN ON THIS EXHIBIT.
 4. THAT RECREATIONAL AMENITIES CONSISTING OF INTERNAL WALKWAYS SHALL BE IMPROVED SURFACES AND INTEGRATED WITH EXISTING WALKWAYS OR ADJACENT PARCELS AS DESIGNED.
 5. THAT A DETAILED LANDSCAPE PLAN, INCLUDING STREETSCAPE ELEMENTS, WALKING TRAIL LOCATION AND LANDSCAPING, AND SEWAGE LOCATION AND LANDSCAPING, SHALL BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT AND APPROVED BY THE CITY. THE PLAN WILL PROVIDE A DETAILED LANDSCAPE PLAN THAT LINES THE FOUNDATION PLANNING, STREETSCAPE AND PLANTING. THE PLAN WILL ALSO PROVIDE FOR TRANSPORTATION, LANDSCAPING ALONG THE GREEN ROAD AND VAN WINKLE ROAD CORRIDORS AS DESIGNED. THE DESIGN WILL REDUCE THE IMPACT OF PARKING AND BUILDING STRUCTURES. REVIEW AND REQUIRED REVISIONS IN ACCORDANCE WITH THE PROTER WILL TAKE PLACE AT THE TIME OF COMPREHENSIVE DEVELOPMENT PLAN REVIEW.
 6. THAT ALL PROPOSED STRUCTURES SHOWN ON EXHIBIT "A-1" WILL BE CONSTRUCTED OF EXTERIOR BUILDING MATERIALS SUCH AS STONE, BRICK, DECORATIVE BLOCK, STUCCO, AND/OR CONCRETE. THE EXTERIOR FINISHES OF OTHER BUILDING CONSTRUCTION MATERIALS WHEN USED AS A PARTICULAR COMPONENT OF THE BUILDING SYSTEM SUCH AS GLASS, ALUMINUM, SKYLIGHTS, ENTRY CANOPIES, STANDING SEAM METAL ROOFS, OR OTHER STRUCTURAL OR FINISH MATERIALS, SHALL BE IN ACCORDANCE WITH THE CITY OF ROANOKE'S DESIGN GUIDELINES. THE ABOVE DESCRIBED SELECTION OF MATERIALS SHALL NOT BE USED IN THIS DEVELOPMENT.
 7. THAT EXTERIOR LIGHTING LEVELS AS MEASURED AT THE DISTRICT BOUNDARY SHALL NOT EXCEED 0.5 FOOTCANDLES. EXTERIOR LIGHTING FIXTURES SHALL BE SHIELDED, MOUNTED OR AWAY IN A MANNER THAT DOES NOT CAST GLOW ON ADJACENT PROPERTIES OR RIGHTS-OF-WAY AND MINIMIZES LIGHT INTRUSION.



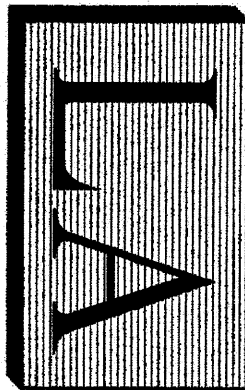
--INDEX OF DRAWINGS-- SHEET NO. DESCRIPTION

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PERMIT NO. CP130030

CITY APPROVAL STAMP

REVISIONS
DATE SHEETS



LUMSDEN ASSOCIATES, P.C.
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