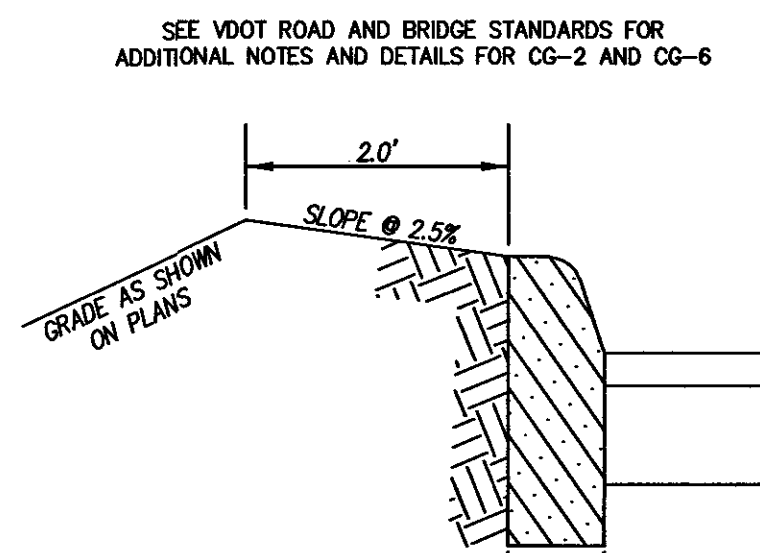
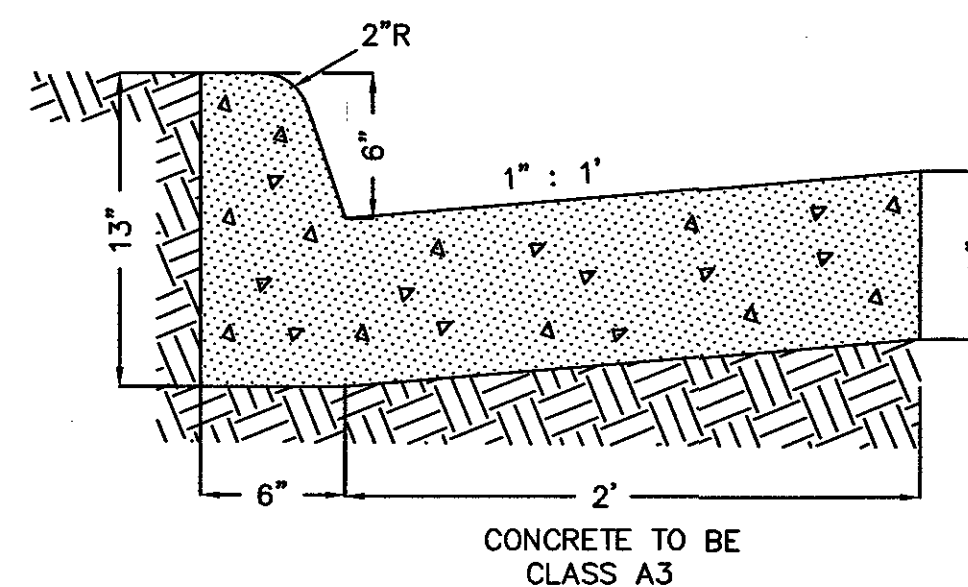


CONCRETE CURB (CG-2)

NO SCALE

BACK OF CURB DETAIL  
FOR CG-2 AND CG-6 CURB

NO SCALE

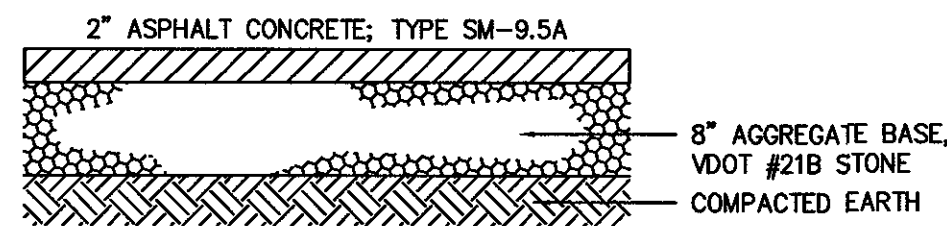


CONCRETE CURB AND GUTTER (CG-6)

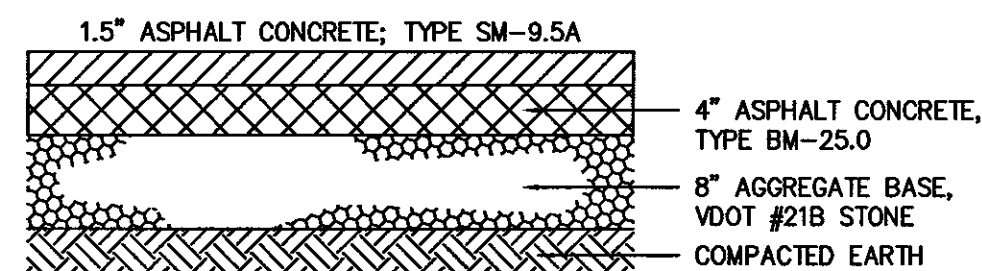
NO SCALE

## PAVEMENT NOTES:

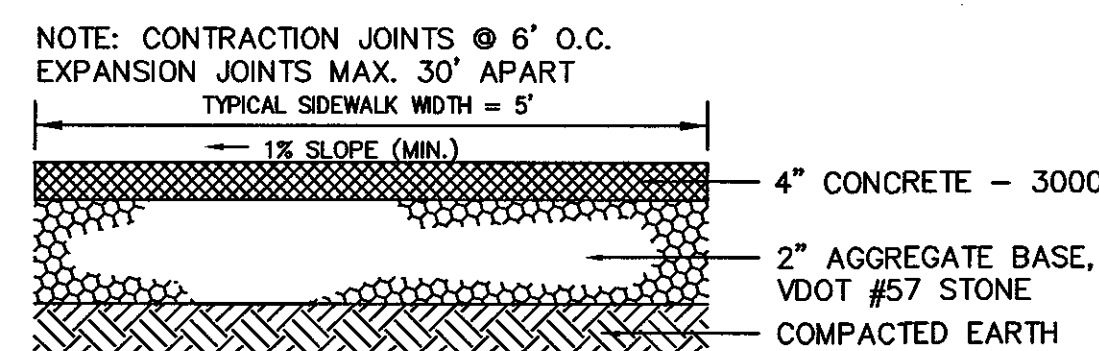
1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A FOR STANDARD PAVEMENT ONLY.

STANDARD-DUTY  
ASPHALT PAVEMENT DETAIL

NO SCALE

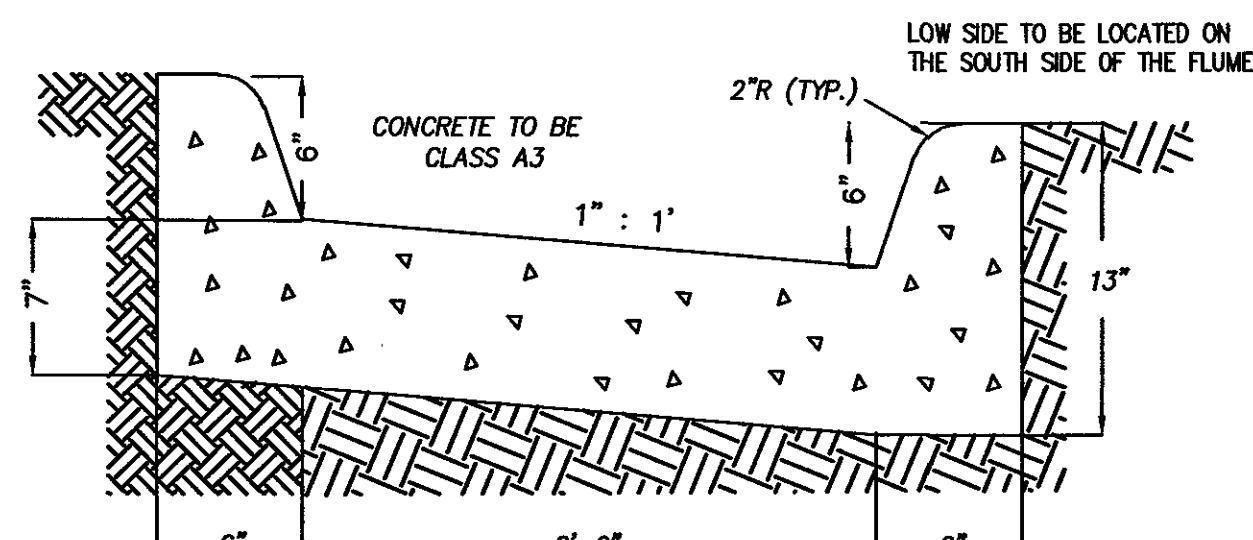
HEAVY-DUTY  
ASPHALT PAVEMENT DETAIL

NO SCALE



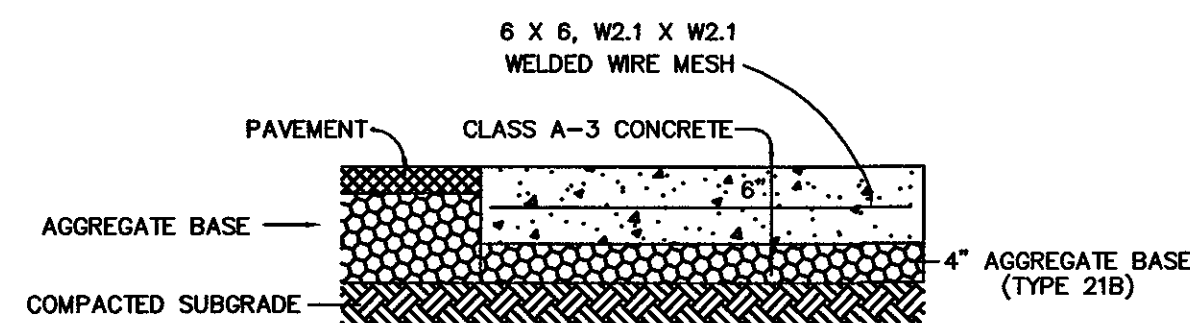
CONCRETE SIDEWALK

NO SCALE



2' CONC. CURB CUT

NO SCALE

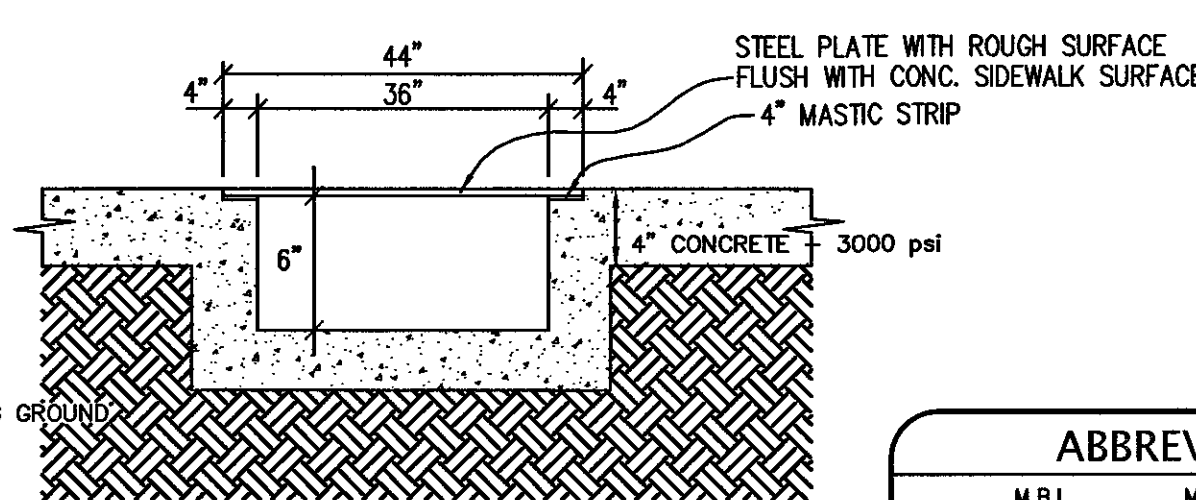


## NOTES:

1. CONTRACTION JOINTS AT 15' O.C., SCORE TO 25% OF SIDEWALK THICKNESS
2. EXPANSION JOINTS MAX. 30' APART, TRIM JOINT FILLER AND APPLY SEALANT.

TYPICAL DUMPSTER PAD SECTION

NO SCALE

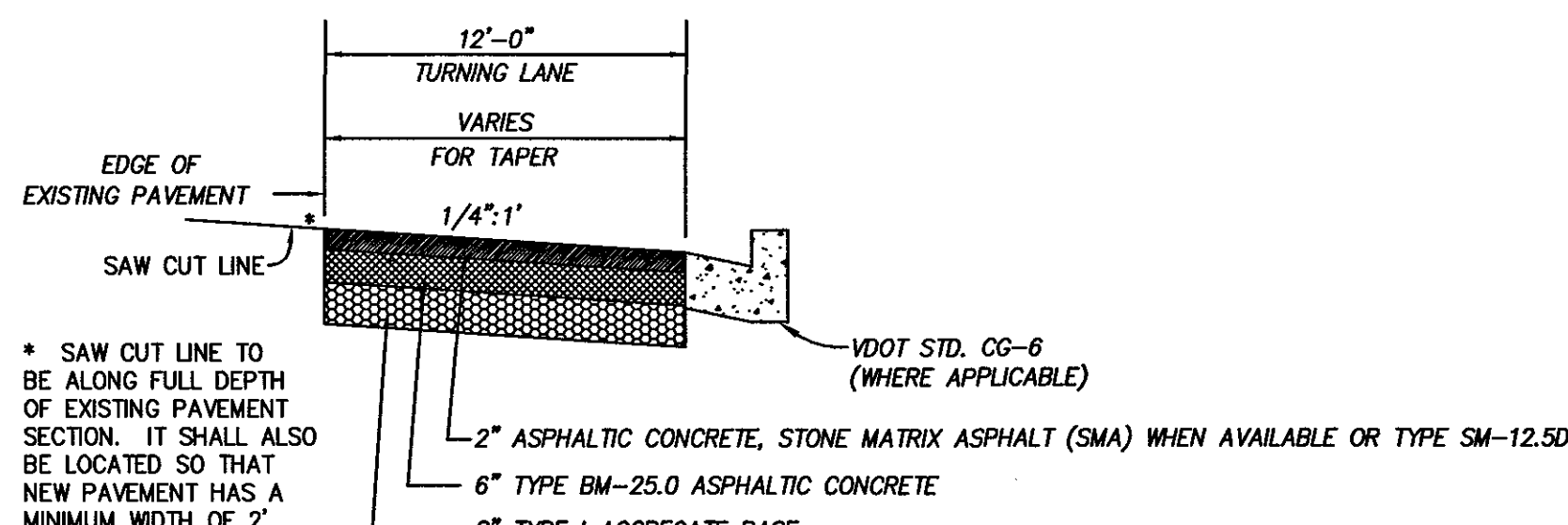


3' SIDEWALK CURB CUT

NO SCALE

## ABBREVIATIONS

M.B.L.	MINIMUM BUILDING LINE
R/W	RIGHT OF WAY
HDCP	HANDICAP
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.B.	PLAT BOOK
P.C.	PAGE
INST. #	INSTRUMENT NUMBER
TYP.	TYPICAL
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
TOP	TERRA COTTA PIPE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
W	WATER LINE
TC	TOP OF CURB
EP	EDGE OF PAVEMENT
BW	BOTTOM OF WALL
TW	TOP OF WALL
CO	SANITARY SEWER CLEANOUT
TBR	TO BE REMOVED
10+00	ENTRANCE ROAD STATIONING
WL:10+00	WATERLINE STATIONING

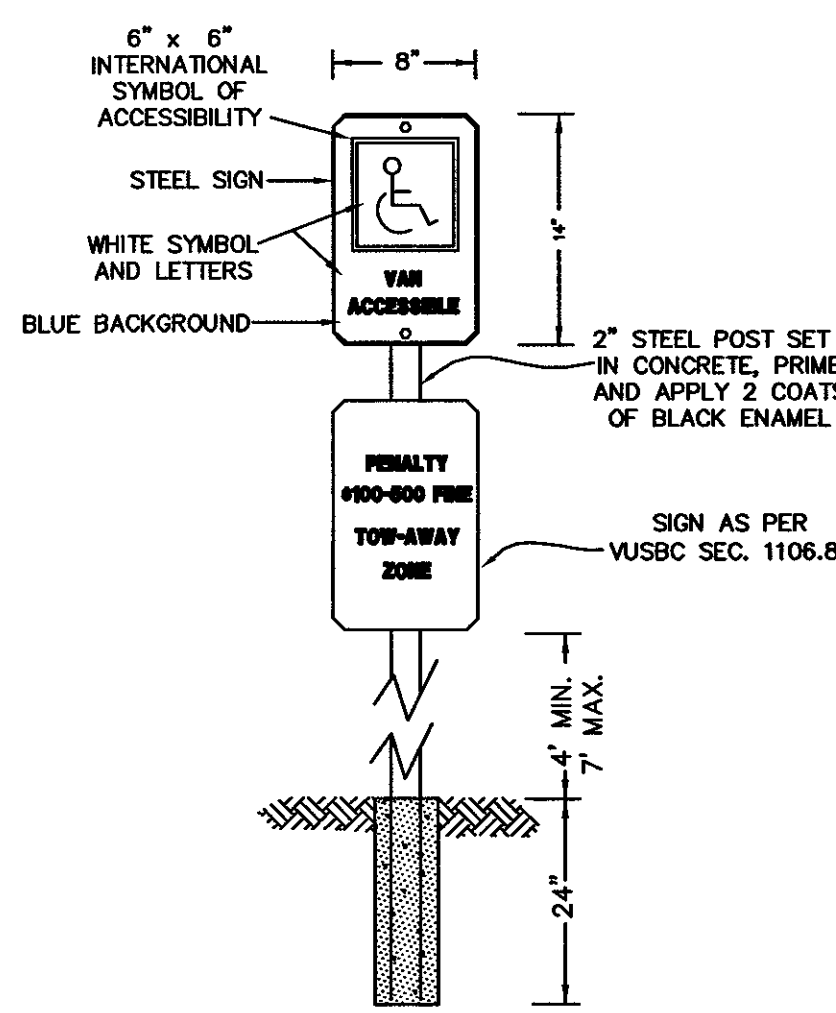


TAPER AND TURNING LANE

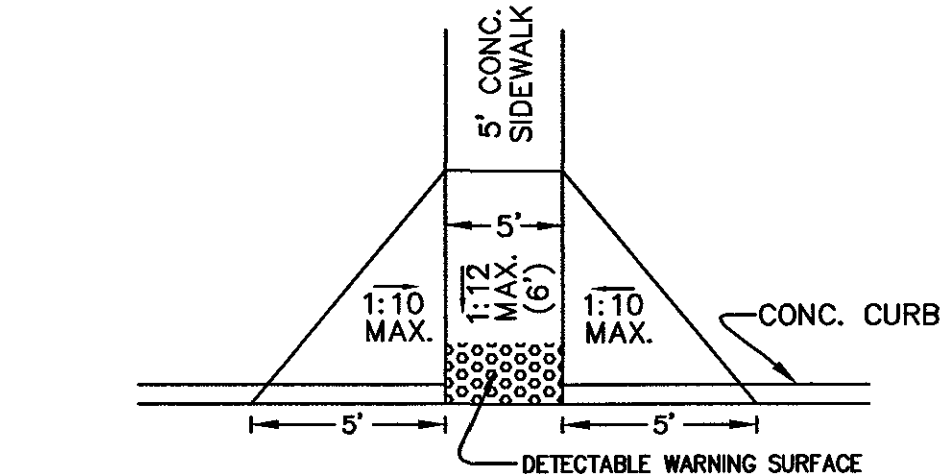
NO SCALE

\* SAW CUT LINE TO BE ALONG FULL DEPTH OF EXISTING PAVEMENT SECTION. IT SHALL ALSO BE LOCATED SO THAT NEW PAVEMENT HAS A MINIMUM WIDTH OF 2'.

NEW PAVEMENT SECTION TO BE THE GREATER OF THAT SHOWN ABOVE, OR EXISTING SECTION

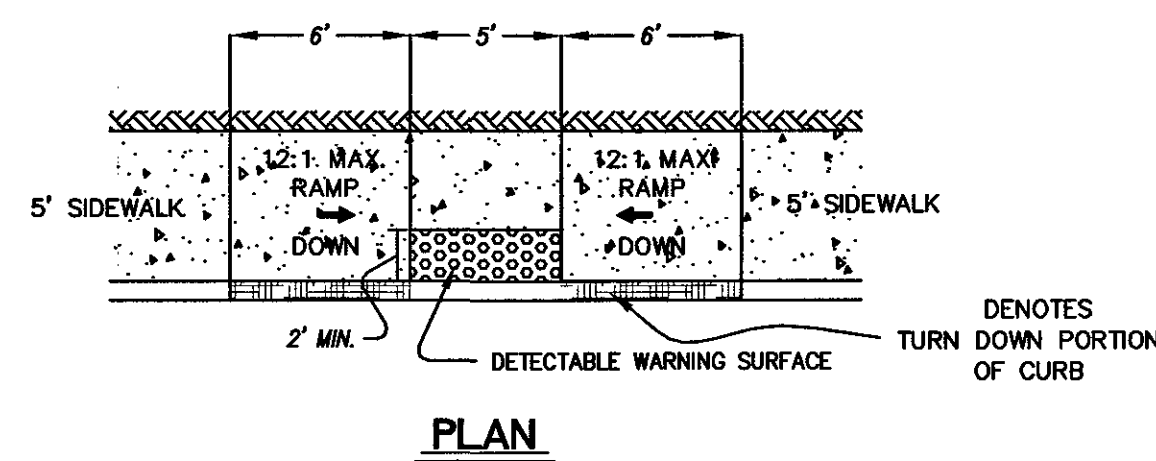
VAN ACCESSIBLE  
HANDICAP PARKING SIGN (S2)

NO SCALE



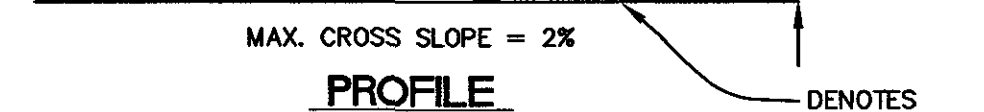
HANDICAP RAMP DETAIL, CG-12 TYPE A

NO SCALE



HANDICAP RAMP DETAIL, CG-12 TYPE B

NO SCALE



HANDICAP RAMP DETAIL, CG-12 TYPE B

NO SCALE

## SITE AND ZONING TABULATIONS

TAX NUMBERS: 7130101, 7130102, 7130103, & 7130116  
 ZONING DISTRICT: MUPUD(C)  
 PROPOSED USE: MULTIFAMILY DWELLINGS & COMMUNITY CENTER  
 SITE ACREAGE: 18.21 ACRES  
 MAXIMUM DENSITY: 1 DWELLING UNIT PER 1,800 SF  
 PROPOSED DENSITY: 1 DWELLING UNIT PER 2,448 SF (324 PROPOSED UNITS)  
 MAXIMUM IMPERVIOUS SURFACE RATIO: 80%  
 PROPOSED IMPERVIOUS SURFACE RATIO: 55%  
 REQUIRED OPEN SPACE: SEE LANDSCAPE PLAN SHEET FOR VERIFICATION.  
 MAXIMUM HEIGHT: 50' (PER REZONING DEVELOPMENT PLAN)  
 PARKING REQUIREMENTS: SPECIFIED DURING REVIEW AND APPROVAL OF MUPUD REZONING  
 MINIMUM PARKING REQUIRED AT 1.5 SPACES PER DWELLING UNIT  
 1.5 X 324 DWELLING UNITS = 486 SPACES  
 MAXIMUM PARKING ALLOWED = 720 SPACES (PER REZONING DEVELOPMENT PLAN)  
 PARKING SPACES PROVIDED = 598 TOTAL SPACES (INCLUDING 63 TOTAL GARAGE SPACES & 16 HANDICAP ACCESSIBLE SPACES)  
 MINIMUM TREE CANOPY: 15% - SEE LANDSCAPE PLAN SHEET, FOR ADDITIONAL INFORMATION  
 REFER TO REZONING DEVELOPMENT PLAN BY OPT ENGINEERING DATED APRIL 17, 2015 FOR SPECIFIC ZONING REQUIREMENTS FOR THIS DEVELOPMENT.

## GENERAL NOTES

1. DEVELOPER: SOUTHEASTERN SITE ACQUISITIONS, LLC  
 5826 SAMET DRIVE, SUITE 105  
 HIGH POINT, NC 27285  
 ATTN: JIM GROICH (366) 889-1512
2. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 05/16/2017
3. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 05/16/2017
4. NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT, AND ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
5. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PRIVATE STREETS.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
7. ALL PERIMETER PARKING LOT LIGHTING FIXTURES SHALL BE THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) STANDARD FULL CUTOFF TYPE LUMINAIRES.
8. ANY EXTERIOR SIGN WILL REQUIRE A SEPARATE SIGN PERMIT. SEE COVER SHEET FOR PROJECT SIGNAGE CONDITIONS.
9. ALL REFUSE DUMPSTERS (1 DUMPSTER TRASH COMPACTOR PROPOSED) AND/OR CONTAINERS SHALL BE SCREENED FROM SURROUNDING VIEWS PURSUANT TO THE REQUIREMENTS OF SECTION 36.2-647 AND TABLE 647-1.
10. MECHANICAL EQUIPMENT LOCATED ON THE GROUND OR MOUNTED ON A ROOF SHALL BE SCREENED PURSUANT TO THE REQUIREMENTS OF SECTION 36.2-647 AND TABLE 647-1.
11. ALL UTILITY SERVICE LATERALS, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND.
12. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
13. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBERS 51161C01666 & 51161C01676, DATED SEPTEMBER 28, 2007. ZONE "X" UNSHADED.
14. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITY. STORM DRAIN STRUCTURES, SANITARY SEWER MANHOLES, AND OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE ESTABLISHED USING ABOVE GROUND STRUCTURES, MISS UTILITY MARKINGS AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
15. NO OUTDOOR STORAGE IS PROPOSED WITH THESE PLANS. ANY FUTURE PLANS FOR OUTDOOR STORAGE WILL REQUIRE ADDITIONAL REVIEW AND THE APPROVAL OF ROANOKE CITY.

## CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF THE VDOT ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
5. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
6. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
7. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES OR EROSION & SEDIMENT CONTROL MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER AND APPROVED BY THE CITY OF ROANOKE.
8. ALL NECESSARY UTILITY LATERAL CONDUITS (I.E. WATER, SEWER, STORM DRAIN, GAS, ELECTRIC, COMMUNICATIONS) SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF BASE MATERIAL.

## GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE. A SEPARATE E & S PLAN MAY BE REQUIRED FOR OFFSITE STOCKPILES.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LAYS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. A DETAILED SUBSURFACE SOILS REPORT HAS BEEN FURNISHED FOR THIS PROJECT. SEE REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ANALYSIS FOR DALETON ROAD APARTMENT DEVELOPMENT BY ENGINEERING CONSULTING SERVICES DATED FEBRUARY 10, 2015. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

## AVAILABLE FIRE FLOW NOTE:

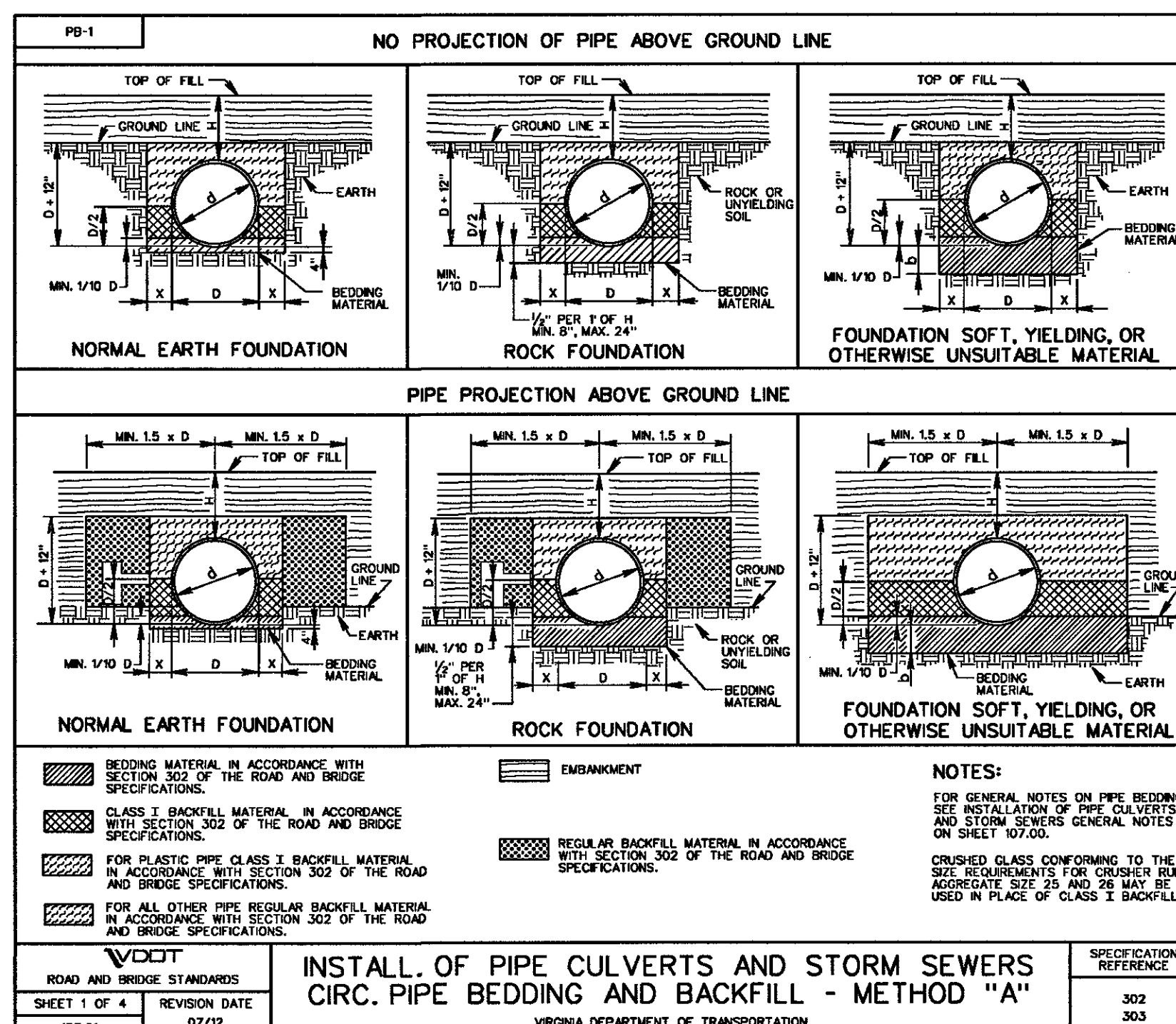
FIRE FLOW MODELING WAS PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY, AND IS REFLECTIVE OF CALCULATED CHANGES TO THE SYSTEM BEING CONSTRUCTED AS OF THE DATE OF THESE PLANS. REFER TO DIMENSIONAL LAYOUT SHEET, FOR CALCULATED FIRE FLOWS AT 20 PSI RESIDUAL PRESSURE FOR EACH OF THE PROPOSED NEW HYDRANTS.

## PLAN VIEW LEGEND AND NOTES:

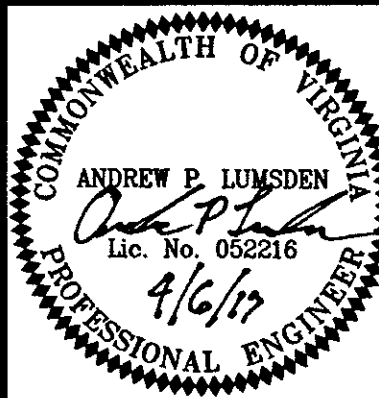
1. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. TP= TOP OF PAVEMENT, TC=TOP OF CURB, EP=EDGE OF PAVEMENT, TW=TOP OF WALL CAP, BW=BOTTOM OF WALL, FG=FINISHED GROUND, TS= TOP OF SIDEWALK.

## LEGEND

ITEM	EXISTING	PROPOSED
PAVEMENT (STANDARD)		
PAVEMENT (HEAVY-DUTY)		
CONCRETE		
CONCRETE CURB (CG-2)		
CONCRETE CURB & GUTTER (CG-6)		
STORM DRAIN LINE	EX SD	SD
STORM DRAIN MANHOLE	⊙	●
SANITARY SEWER LINE	SS	SS
WATERLINE	W	W
UTILITY POLE	U	U
OVERHEAD ELECTRIC LINE	OHE	OHE
OVERHEAD TELEPHONE LINE	OHT	OHT
INDEX CONTOURS	-1020-	-1020-
INTERMEDIATE CONTOURS	-1018-	-1018-
UNDERGROUND GAS	-GAS-	-GAS-
OVERHEAD ELECTRIC	OHE	OHE
SPOT ELEVATION	+1021.5	+1021.5



**LUMSDEN ASSOCIATES, P.C.**  
 ENGINEERS-SURVEYORS-PLANNERS  
 ROANOKE, VIRGINIA



## NOTES &amp; DETAILS

COMPREHENSIVE DEVELOPMENT PLAN  
 FOR  
 DISTRICT VUE APARTMENTS  
 PREPARED FOR  
 SOUTHEASTERN SITE ACQUISITIONS  
 SITUATED ALONG ORANGE AVENUE  
 THE CITY OF ROANOKE, VIRGINIA

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		

DATE: April 6, 2017

SCALE: NO SCALE

COMMISSION NO: 15-005

SHEET 2 OF 22