

SANITARY SEWER MAIN LINE BEARINGS AND DISTANCES		
LINE	BEARING	DISTANCE
EX-1	N 54°20'29" W	18.23'
1-2	S 53°45'13" W	300.41'
2-3	S 56°32'16" W	93.39'
3-4	N 33°27'44" W	175.27'
4-5	N 64°08'00" W	192.65'
5-6	S 69°14'31" W	63.79'
6-7	N 33°34'54" W	185.31'
7-8	N 78°34'54" W	72.45'
8-9	S 58°25'06" W	261.04'
9-10	S 33°34'54" E	96.58'
10-11	S 11°25'06" E	117.38'
11-12	S 33°34'54" E	221.87'
12-13	S 58°25'06" W	302.13'
13-14	N 78°34'54" W	101.78'
14-15	N 33°34'54" W	92.61'

FIRE HYDRANT INFORMATION	
HYDRANT	FIRE FLOW (GPM)
1	2,321
2	2,082
3	2,116
4	2,087
5	2,084
6	1,981
7	2,247

FIRE HYDRANT INFORMATION SHOWN ABOVE IS BASED ON A COMPUTER SIMULATION PROVIDED BY THE VMWA ON 2/4/2016. THE FIRE FLOWS LISTED ARE UNDERSTOOD TO BE CALCULATED AT 20 PSI RESIDUAL PRESSURE.

MECHANICAL EQUIPMENT SCREENING NOTE:
A/C UNITS & GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED ACCORDINGLY. SEE SHEET 21 FOR SHRUB PLANTING TYPE & LOCATION DETAIL.

UTILITIES LOCATION NOTE:
ALL UTILITY SERVICE LATERALS, INCLUDING ELECTRIC, SHALL BE LOCATED UNDERGROUND. FOR ELECTRIC METER BANK LOCATIONS FOR PROPOSED BUILDINGS, SEE SHEETS 6 & 7.

FIRE PROTECTION NOTES:

- CONTRACTOR SHALL PROVIDE A KNOX BOX KEY BOX, MODEL 3200 SERIES OR ABOVE, TO BE INSTALLED AT THE MAIN ENTRANCE TO EACH STRUCTURE. THE CONTRACTOR SHALL VERIFY MOUNTING LOCATION WITH THE ROANOKE CITY FIRE MARSHAL.
- FIRE DEPARTMENT CONNECTION (FDC) SHALL BE LOCATED ON THE FACE OF BUILDING AS INDICATED ON THESE PLANS. THE CONTRACTOR SHALL VERIFY LOCATION ON THE ARCHITECTURAL PLANS AND CONFIRM ACCEPTABILITY OF THE LOCATION WITH THE FIRE MARSHAL.
- FDC SHALL BE SINGLE 5 INCH STORZ COUPLING AND SHALL HAVE A KNOX BOX LOCKING CAP.
- FIRE DEPARTMENT CONNECTIONS (FDC) AND POST INDICATOR VALVES (PIV) SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION STANDARDS.
- THE PROPOSED (9) RESIDENTIAL BUILDINGS ARE THREE-STORY STRUCTURES WITH NO PROPOSED ELEVATORS.
- EXISTING AND PROPOSED FIRE HYDRANT FLOW RATES HAVE BEEN PROVIDED BY THE WESTERN VIRGINIA WATER AUTHORITY AND ARE UNDERSTOOD TO BE CALCULATED AT 20 PSI RESIDUAL PRESSURE.
- THE PROPOSED FIRE HYDRANTS SHOWN ON THESE PLANS SHALL BE PUBLIC AND SHALL HAVE A SILVER COLORED BARREL.

DOMESTIC WATER SERVICE TO EACH OF THE (9) RESIDENTIAL BUILDINGS SHALL BE SERVED BY (1) 3" WATER METER, CLUBHOUSE SHALL BE SERVED BY (1) 1.5" WATER METER, AND MAINTENANCE BUILDING SHALL BE SERVED BY (1) 1" WATER METER

TAX #7130117
GARY & WARY L. SAUNDERS
INSTRUMENT #80003410
ZONED: R-5

TAX #7120305
LEE ROY & SHARON SUE B. ALTICE
D.B. 989, PG. 550
LOT E & PART OF ROAD
P.B. 4, PG. 3
ZONED: R-5

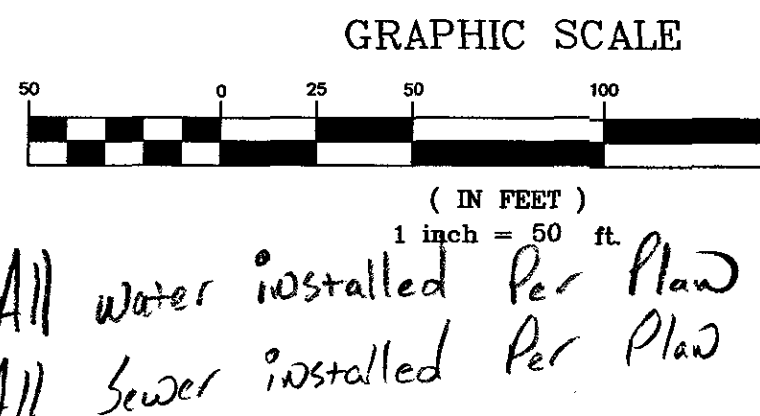
S.D. GRATE
TOP = 979.25'
INV. OUT 15" RCP = 975.52'
S.D. MANHOLE
TOP = 980.94'
INV. IN 15" = 974.74'
INV. IN 48" RCP = 974.43'
INV. OUT 48" RCP = 974.42'

S.D. GRATE
TOP = 980.54'
INV. OUT 18" RCP = 976.86'

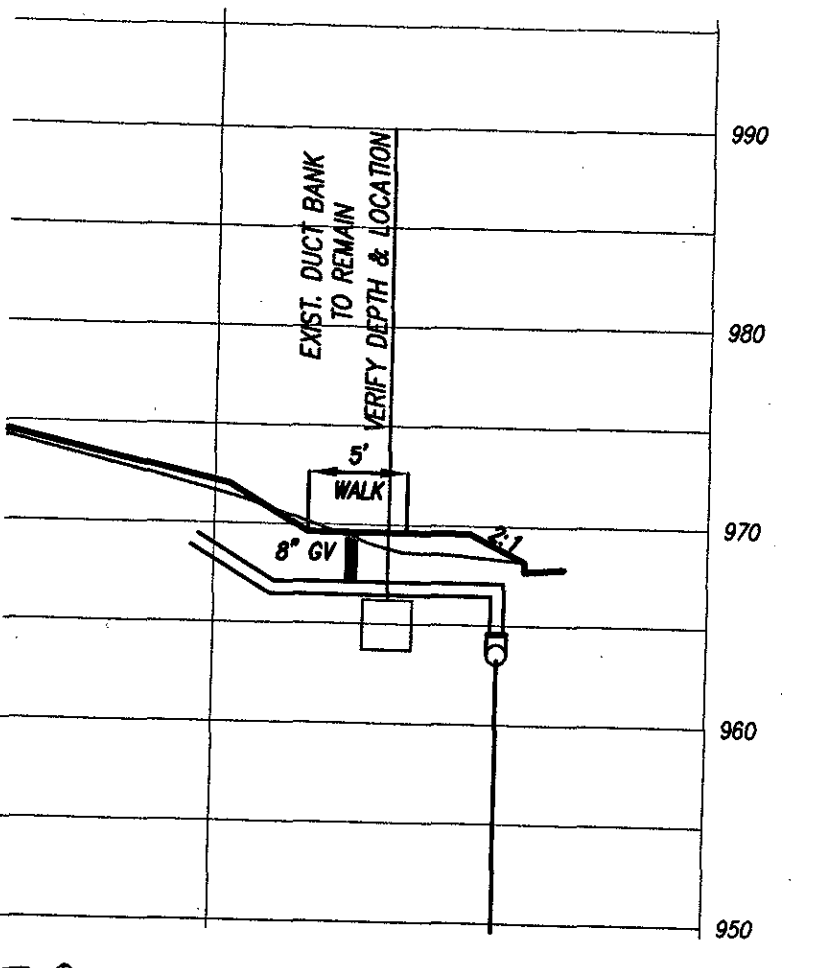
S.D. GRATE "EX1"
TOP = 980.02'
INV. OUT 24" RCP = 976.46'
S.D. MANHOLE
TOP = 981.59'
INV. IN 24" RCP = 976.28'
INV. IN 48" RCP = 974.63'
INV. OUT 48" RCP = 974.81'

MINIMUM FLOOR ELEVATION FOR GRAVITY SANITARY SEWER SERVICE			
BUILD.	MAIN INVERT	CO INVERT	MIN. F.F.E.
1	997.97	998.16	1004.0
2	993.81	994.02	1003.8
3	993.81	994.32	1000.2
4	996.62	996.83	1002.6
5	995.00	995.38	1001.2
6	993.81	994.32	1001.9
7	989.72	990.51	999.3
8	989.72	989.91	995.8
9	988.28	988.82	996.9
Club	995.00	996.43	1002.3
Cabana	993.81	994.02	1002.3
Maint.	996.62	997.24	1003.4

*SS Lateral Exits Building 5.0' Below F.F.E. for Buildings 1-9 and Clubhouse.
**SS Lateral Exits Building 3.0' Below F.F.E. for Maintenance and Cabana.



All water installed Per Plan
All sewer installed Per Plan



FR
Scale
1" = 10'

SITE PHASING NOTES:

- PHASE 1 WORK SHALL INCLUDE:
- MASS GRADING FOR ENTIRE DEVELOPMENT INCLUDING RETAINING WALL CONSTRUCTION.
 - ALL WATERLINE INSTALLATION AND SANITARY SEWER INSTALLATION. CONTRACTOR TO PROVIDE SEWER LATERALS TO VMWA CLEANOUT AND 4" WATERLINE SERVICE TO GATE VALVE FOR PHASE 2 CONNECTIONS.
 - ALL STORMWATER MANAGEMENT (INCLUDING BIORETENTION AREA "B").
 - GRADUATION STRUCTURES/CONVEYANCE PIPES. NYLOPLAST DRAINAGE SYSTEM FOR BUILDINGS 7" & 8" SHALL BE INSTALLED IN PHASE 2.
 - BUILDINGS 1, 2, 3, 4, 5, & 6.
 - ALL RIGHT-OF-WAY IMPROVEMENTS.
 - ENTRANCE ROADS & PARKING AREAS WITHIN PHASE 1 LIMITS.
- PHASE 2 WORK SHALL INCLUDE:
- REMAINING WATER & SANITARY SEWER LATERAL CONNECTIONS FOR PHASE 2 BUILDINGS.
 - BUILDINGS 7, 8, & 9.
 - REMAINING PARKING AREAS WITHIN PHASE 2 LIMITS.
- NOTE: CONTRACTOR SHALL TAKE EXTREME CAUTION WHEN WORKING IN THE PROXIMITY OF BIORETENTION AREA "B". CONTRACTOR TO TAKE MEASURES NEEDED TO ENSURE NO DISTURBANCE OR CONTAMINATION OF THIS SENSITIVE AREA. POSSIBLE PRECAUTIONS INCLUDE BUT ARE NOT LIMITED TO SILT FENCE, SUPER SILT FENCE, & DIVERSIONS. ANY RECONSTRUCTION OF BIORETENTION AREA "B" DUE TO DISTURBANCE OR CONTAMINATION WILL BE AT THE CONTRACTOR'S EXPENSE. SEE LANDSCAPING PLAN SHEET 20 FOR LANDSCAPING PHASING.

TAX #7130113
WALLACE A. & JACQUELINE B. REED
D.B. 1379, PG. 542
D.B. 1007, PG. 228 (PLAT)
ZONED: RA

City of Roanoke
Planning, Building, & Development
COMPREHENSIVE DEVELOPMENT PLAN
APPROVED
by Adrian Gilbert 05/16/2017

All Water line in this segment
DIP

TAX #7130104
WALLACE A. & JACQUELINE B. REED
INSTRUMENT #80016820
D.B. 588, PG. 213 (PLAT)
ZONED: R-5

SEE SANITARY SEWER & WATERLINE PROFILE SHEET FOR OFFSITE TIE-IN PLAN & PROFILE

EX. CON. TO BE REPLACED

SD INLET
TOP = 968.79'
INV. OUT 18" RCP = 964.12'
SD INLET
TOP = 968.72'
INV. IN = 960.92'
INV. IN 18" = 961.42'
INV. OUT = 960.72'

SSMH
RIM = 970.85'
INV. IN = 959.85'
INV. IN 6" = 959.05'
INV. OUT = 959.80'

COMPREHENSIVE DEVELOPMENT PLAN
FOR
DISTRICT VUE APARTMENTS
PREPARED FOR
SOUTHEASTERN SITE ACQUISITIONS
SITUATED ALONG ORANGE AVENUE
THE CITY OF ROANOKE, VIRGINIA

REVISIONS		DESCRIPTION	
NO.	DATE	NO.	DATE
1		1	
2		2	
3		3	
4		4	
5		5	

DATE: April 6, 2017
SCALE: 1" = 50'
COMMISSION NO.: 15-005
SHEET 4 OF 22