

RETAIL BUILDING SITE PLAN

JMB Investment Company, LLC

13th ST. & JAMISON AVE.

ROANOKE, VIRGINIA

SITE ADDRESS
1302 JAMISON AVENUE, S.E.
ROANOKE, VIRGINIA 24013-2016

OWNER
JMB Investment Company, LLC
9047 Executive Park, Suite 201
Knoxville, TN 37923

ENGINEER
LMW P.C.
ENGINEERING - ARCHITECTURE - SURVEYING - LANDSCAPE DESIGN

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

1. RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

2. LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

3. PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

4. LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

5. CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

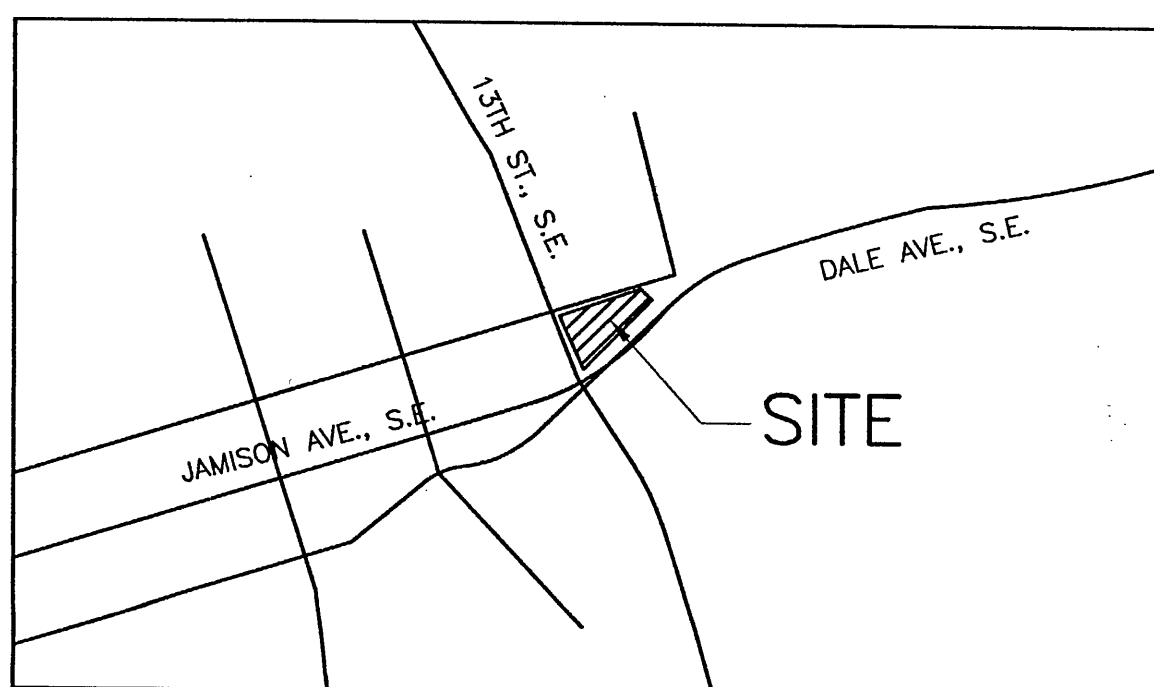
6. STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

7. BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

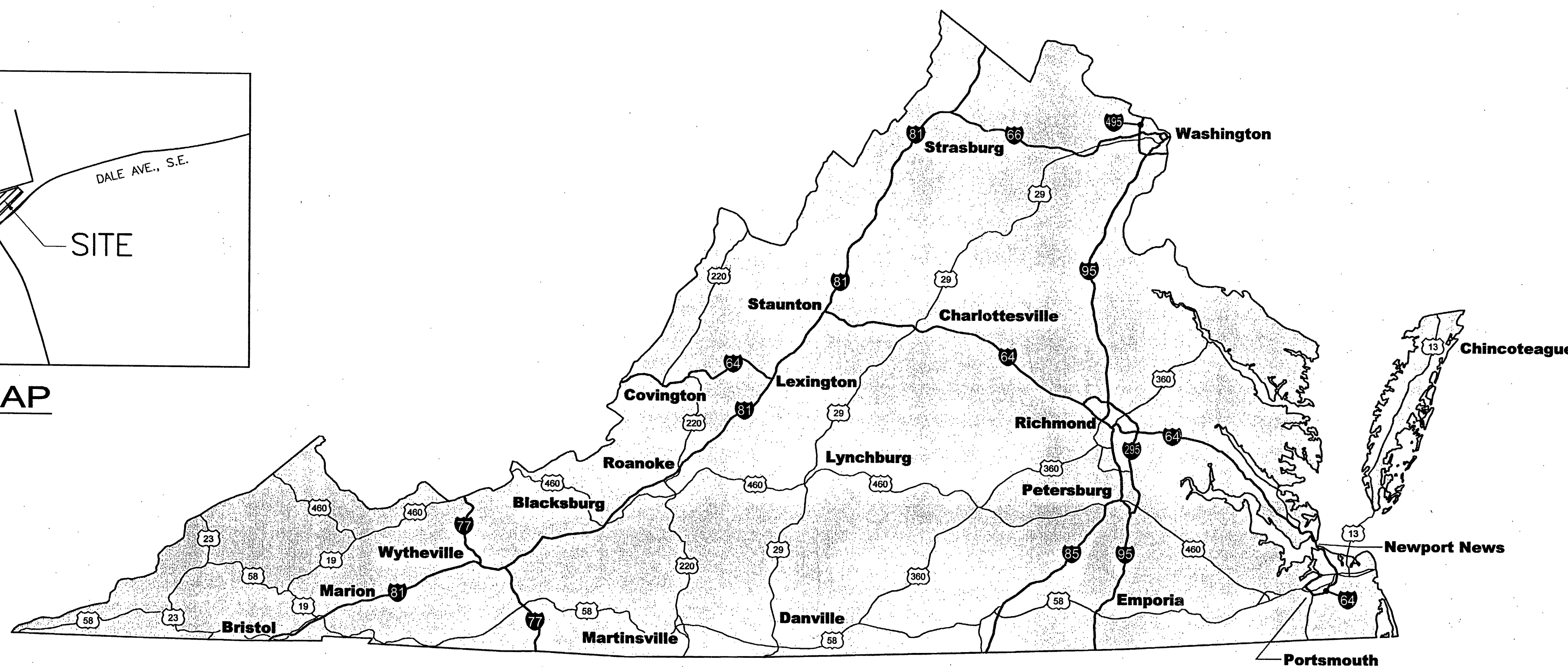
8. SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY

9. APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

10. FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM RAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY E CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.



VICINITY MAP
NO SCALE



VIRGINIA LOCATION MAP
NO SCALE

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DEVELOPMENT/PROPERTY OWNER:

JMB Investment Company, LLC
9047 Executive Park, Suite 201
Knoxville, TN 37923
Contact: Tim Dunaway
(865)200-4770
Email: tim@schadbrown.com

ENGINEER:

LMW PROFESSIONAL CORPORATION
102 ALBEMARLE AVE., S.E.
ROANOKE, VIRGINIA 24013
Contact: Richard White
(540) 345-0675
Email: rwhite@lmwpc.net

TAX#: 4220118

LEGAL REFERENCE: SALLES EBRAHIM J & MARY A
BASE ZONING CLASSIFICATION: CN (NEIGHBORHOOD COMMERCIAL)
OVERLAY DISTRICT: NDD (NEIGHBORHOOD DESIGN OVERLAY)

PROPOSED USE OF SITE: RETAIL STORE

▲ FACADE TRANSPARENCY: PRIMARY STREET FRONTAGE (JAMISON AVE.) 50%
SIDE STREET (13 ST.) 25%

TOTAL LOT AREA: 0.955 AC
TOTAL ACREAGE OF LAND TO BE DEVELOPED: 0.62 AC
TOTAL ACREAGE OF LAND TO BE DISTURBED: 0.81 AC

MINIMUM LOT AREA: 5,000 SF
MAXIMUM LOT AREA: 87,120 SF
MINIMUM LOT FRONTAGE: NONE
MAXIMUM LOT FRONTAGE: 200 FEET

LOT FRONTAGE PROVIDED: 396.2'
MAXIMUM IMPERVIOUS RATIO: 100%
IMPERVIOUS SURFACE RATIO PROVIDED: 65%
MAXIMUM/MINIMUM DEPTH OF FRONT YARD: 10'/0'
MINIMUM SIDE YARD: 0'
MINIMUM REAR YARD FOR A PRINCIPAL STRUCTURE: 0'
MAXIMUM HEIGHT OF STRUCTURE: 45 FEET

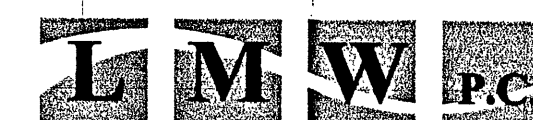
MINIMUM TREE CANOPY: 20%
PROVIDED TREE CANOPY: 20%

▲▲ NET FLOOR AREA: 9,100SF X 0.75=6,825SF
MIN. PARKING REQ: 6,825SF X 1SP/250SF =27 SPACES
MAX. PARKING ALLOWED: 27 X 1.5 = 41 SPACE
PARKING SPACES PROVIDED: 30 SPACES
PARKING IS WITHIN ACCEPTABLE RANGE

PEDESTRIAN ACCESS REQUIREMENT APPLIES: YES
MAXIMUM BUILDING FOOTPRINT: 15,000 SF
PROPOSED BLDG. FOOTPRINT: 9,100 SF
MINIMUM GROUND FLOOR FACADE TRANSPARENCY: 50%
(PERCENTAGE OF FACADE AREA)

City of Roanoke Planning Building and Development	
DEVELOPMENT PLAN APPROVED	
Agent, Planning Commission	Date: 7/9/2013
Development Engineer	7-9-2013
Zoning Administrator	7/9/13
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	

ROANOKE CITY USE ONLY



102 Albemarle Ave.
Roanoke, Virginia
24013

Engineering
Architecture
Surveying
Landscape Design

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Dollar General

RETAIL BUILDING SITE PLAN
JMB Investment Company, LLC
13th ST. & JAMISON AVE.
COMM. NO.: 3978A
DATE: 09/07/12
SET NO.: _____

No.	Date	Description	By
4	05/23/13	PER CITY OF ROANOKE COMMENTS	MCP
3	05/08/13	PER CITY OF ROANOKE COMMENTS	MCP
2	04/17/13	PER CITY OF ROANOKE COMMENTS	MCP
1	03/26/13	PER CITY OF ROANOKE COMMENTS	MCP

RECEIVED
JUN 04 2013

AS-BUILT 11/05/2013
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