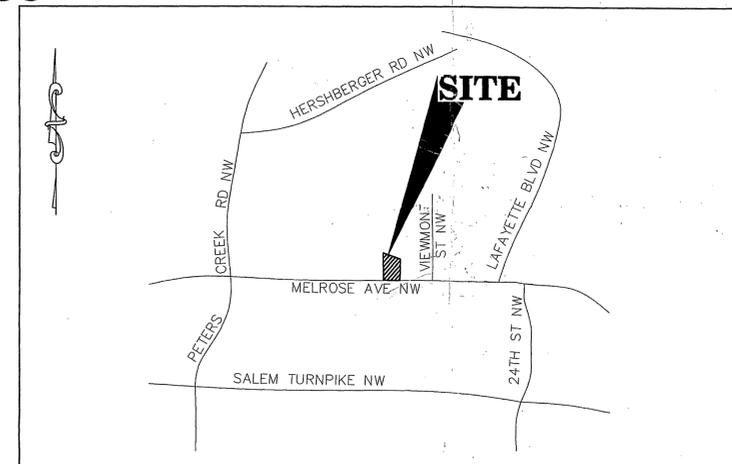


# Dollar General Corporation Retail Store

9,100 Square Foot Facility  
70'-9 1/2" Front x 130'-10" Deep

Roanoke, Virginia  
3325 Melrose Avenue NW

SCHEDULE OF DRAWINGS		
DRAWING NUMBER	REVISION DATE	DRAWING TITLE
C0.1		COVER SHEET
C1.0		EXISTING CONDITIONS
C1.1		DEMOLITION PLAN
C2.1		SITE LAYOUT AND UTILITY PLAN
C2.2		SITE LOCATION PLAN
C2.3		TRAFFIC CONTROL PLAN
C3.1		SITE GRADING AND DRAINAGE PLAN
C3.2		EROSION PREVENTION AND SEDIMENT CONTROL PLAN
C3.3		EPSC PLAN-VIRGINIA 19 MIN. STANDARDS
C4.1		SITE DETAILS
C4.2		SITE DETAILS
C4.3		SITE DETAILS
C4.4		SITE DETAILS
L1.1		LANDSCAPE PLAN



ROANOKE, VIRGINIA  
VICINITY MAP  
NOT TO SCALE  
TAX MAP NO. 266-0505 AND 266-0503

**CONSTRUCTION PROCEDURE REQUIREMENTS**

- RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
- LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAUD DISTURBANCE PERMIT.
- PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
- LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
- STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUCH, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
- BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
- SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY
- APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
- FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

**APPROVAL BLOCK**

City of Roanoke  
Planning Building and Development  
DEVELOPMENT PLAN APPROVED

Agent, Planning Commission: *[Signature]* Date: 7/18/11  
Development Engineer: *[Signature]* 7-18-11  
Zoning Administrator: *[Signature]* 7/14/2011

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

**DEVELOPER**  
**GBT Realty Corporation**  
201 Summit View Drive, Suite 110  
Brentwood, Tennessee 37027  
Development Contact: Bob Gage  
Email: bgage@gbtrealty.com  
Construction Contact: Don Robinson  
Email: drobinson@gbtrealty.com  
Phone: (615)370-0670  
Fax: (615)515-4065

**CIVIL ENGINEER**  
**GRESHAM SMITH AND PARTNERS**  
1400 Nashville City Center, 511 Union Street  
Nashville, Tennessee 37219  
Contact: Dylan Tarr  
Phone: (615)770-8159  
Fax: (866)712-3370  
Email: dylan\_tarr@gspnet.com

**MJM ARCHITECTS**  
ARCHITECTURE  
PLANNING  
ENGINEERING  
GRAPHICS  
105 BROADWAY  
4TH FLOOR  
NASHVILLE, TN 37201  
(p) 615.244.8170  
(f) 615.244.8141  
www.mjmarch.com



**CIVIL ENGINEER**  
**GRESHAM SMITH AND PARTNERS**  
511 Union Street  
1400 Nashville City Center  
Nashville, Tennessee 37219  
Phone: (615)770-8100  
GSP #27761.92

**GB**  
**GBT REALTY CORPORATION**  
201 Summit Drive Suite 110  
Brentwood, TN 37027  
615-370-0670  
Fax: 615-373-3111  
www.gbtrealty.com

**DOLLAR GENERAL**  
STORE #XXXXX  
**ROANOKE, VA AT MELROSE**

**DOLLAR GENERAL PERMIT SET**  
04.06.11  
MJM 11015

**CITY REVIEW COMMENTS**  
5.12.11

COVER SHEET  
**C0.1**

ARCHITECTS  
CONSULTANT  
OWNER  
LOCATION  
DATE  
SHEET