

| CURVE TABLE | | | | |
|-------------|----------|--------|---------|---------------|
| CURVE | DELTA | LENGTH | RADIUS | CHORD |
| C1 | 1'02'54" | 104.62 | 5717.58 | 104.62 |
| | | | | S 50°19'19" E |

| STRIPING LEGEND | |
|-------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|
| YELLOW CURBING AND BOLLARDS - PARKING LOT | SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST. 2 COATS SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW TMS495 |
| STRIPING - PARKING LOT | SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW TMS495 |
| HANDICAP STRIPING - PARKING LOT | SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE |

SEWER
WESTERN VIRGINIA WATER AUTHORITY
ENGINEERING
CONTACT: AARON SHEARER
540-853-1588

WATER
WESTERN VIRGINIA WATER AUTHORITY
ENGINEERING
CONTACT: AARON SHEARER
540-853-1588

ELECTRIC
APPALACHIAN POWER
CONTACT: CAROL HUFFMAN
540-427-3653

GAS
ROANOKE GAS
CONTACT: DON JONES
540-777-3851

TELEPHONE
VERIZON
CONTACT: CHRIS DAVIDSON
800-356-2355

LAYOUT & PAVING NOTES

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR CONTRACTOR CAUSED DAMAGE, ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN, IN ACCORDANCE WITH THE SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE, NOR STORE MATERIALS WITHIN THE DRIPLINES OF TREES OR OUTSIDE THE LIMIT OF GRADING.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE 4,000 P.S.I., UNLESS OTHERWISE NOTED. CURB RAMPS, SIDEWALK SLOPES, AND DRIVEWAY RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- COORDINATES ARE FOR FACE OF BUILDINGS, CENTER LINES OF DRIVEWAYS, CENTER OF SANITARY SEWER MANHOLES, AND CENTER AT FACE OF CURB ON CURB INLETS, UNLESS OTHERWISE NOTED.
- EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST IN A LEGAL MANNER.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ARCHITECT/ENGINEER UPON COMPLETION.
- PARKING STRIPES SHALL BE 4-INCH YELLOW PAVEMENT PAINT.
- SCREENED ITEMS INDICATE A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY HURT AND PROFFITT DATED JUNE 7, 2010.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS, AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS.
- CONTRACTOR SHALL PROVIDE AS-BUILT ELEVATION SURVEY FOR ALL NEW SIDEWALK RAMPS.
- ALL EXISTING STRUCTURES, CONCRETE PADS/WALKS/DRIVES AND UTILITY SERVICES ON SITE TO BE REMOVED PRIOR TO CONSTRUCTION.
- ALL CONCRETE TO BE 4000 PSI WITH 5% (+/- 1%) AIR ENTRAINMENT. FLY ASH MIXTURES WITH WATER/CEMENT RATIOS AT 0.5 OR BELOW ARE RECOMMENDED.
- CONSTRUCTION OF REINFORCED CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH ACI 330 STANDARD SPECIFICATIONS.
- CONCRETE SIDEWALKS SHALL HAVE A BROOM FINISH WITH NO EXPOSED AGGREGATE ON SIDEWALK FACE.
- CURING COMPOUND TO BE APPLIED TO ALL CONCRETE SURFACES IMMEDIATELY AFTER BROOM FINISH.
- CONTRACTOR SHALL REJECT CONCRETE IF IT CANNOT BE PLACED WITHIN 90 MINUTES OF BATCH TIME EXPIRATION TIME SHALL BE REDUCED TO 75 MINUTES ON HIGH SUMMER TEMPERATURES.

TIE TO EXISTING WATER SERVICE. COORDINATE WITH WESTERN VIRGINIA WATER AUTHORITY ENGINEERING. CONTACT: AARON SHEARER (540) 853-1588

CONNECT 4" BUILDING SERVICE TO EXISTING 8" SANITARY SEWER SERVICE. COORDINATE W/ WESTERN VIRGINIA WATER AUTHORITY ENGINEERING. CONTACT: AARON SHEARER (540) 853-1588. CONTRACTOR TO FIELD LOCATE SANITARY LINE @ I.E. 984.00+.

INSTALL 60 L.F. VDOT CURB AND GUTTER WITH 5' CONCRETE SIDEWALK

INSTALL 1" WATER SERVICE WITH 3/4" IRRIGATION AND DOMESTIC WATER METERS AND VALVES. COORDINATE WITH WESTERN VIRGINIA WATER AUTHORITY ENGINEERING. CONTACT: AARON SHEARER (540) 853-1588

5 CURB AND GUTTER (VDOT CG-6)

INSTALL 214 L.F. GAS SERVICE LINE. COORDINATE WITH ROANOKE GAS CONTACT: RON JONES (540) 777-3851

7 ROANOKE STANDARD COMMERCIAL ENTRANCE

INSTALL 20 L.F. VDOT CURB AND GUTTER WITH 5' CONCRETE SIDEWALK. INSTALL RAMPS TO VDOT STANDARDS.

TIE TO EXISTING GAS SERVICE. COORDINATE WITH ROANOKE GAS CONTACT: RON JONES (540) 777-3851

GENERAL UTILITY NOTES

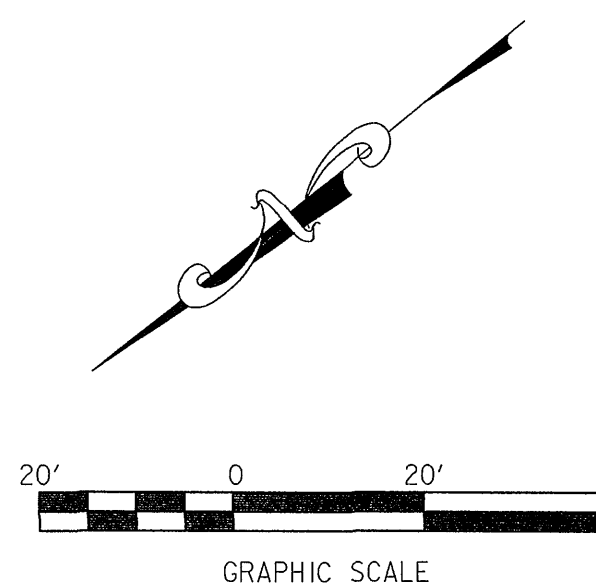
- WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PAY ALL FEES AND OBTAIN ALL PERMITS.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND ARE BASED ON TOPOGRAPHIC SURVEYS. ADDITIONAL UTILITIES MAY BE PRESENT. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL ONE-CALL SYSTEM AT (811) AT LEAST 3 WORKING DAYS PRIOR TO ANY EXCAVATION AND/OR DEMOLITION.
- MAINTAIN 10-FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER SUPPLY LINES.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES INCLUDING IRRIGATION. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
- BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 98% OF MAXIMUM PER ASTM D698.
- ADJUST ALL EXISTING CASTINGS TO MATCH PROPOSED FINISH GRADE.
- ALL SANITARY SEWER PIPE SHALL BE CLASS SDR 35 PVC UNLESS NOTED OTHERWISE.
- WATER SERVICE PIPE SHALL BE SDR21 PVC, PRESSURE RATING 200 PSI.
- CONTRACTOR SHALL COORDINATE LIGHT POLE AND ELECTRICAL CONDUIT LOCATION WITH ELECTRICAL SITE EST./PHOTOMETRIC PLAN.

- ALL PROPOSED SITE UTILITIES SHALL BE UNDERGROUND.

SITE DATA TABLE

- PROPERTY ZONED: COMMERCIAL GENERAL. PROPERTY USE: COMMERCIAL - RETAIL. FLOOR AREA RATIO (FAR) = 9100/58457 = 0.16
- SET BACKS: FRONT = 10' MIN. - 30' MAX. SIDE = 0' REAR = 0'
- SITE AREA: 58,458 S.F. = 1.342 ACRES
- BUILDING AREA: STORE = 9,100 S.F., ONE STORY. EXISTING LANDSCAPE AREA = 0.76 ACRES = 56.7%. PROPOSED IMPERVIOUS AREA = 0.69 ACRES = 51.5%. PROPOSED LANDSCAPE AREA = 0.65 ACRES = 48.5%.
- PARKING REQUIRED BY ZONING: 29 SPACES (1/250 S.F. RETAIL). PARKING REQUIRED BY RETAILER: 30 SPACES. PARKING PROVIDED: 30 SPACES
- EXISTING IMPERVIOUS AREA = 0.58 ACRES = 43.3%. EXISTING LANDSCAPE AREA = 0.76 ACRES = 56.7%. PROPOSED IMPERVIOUS AREA = 0.69 ACRES = 51.5%. PROPOSED LANDSCAPE AREA = 0.65 ACRES = 48.5%.

ALL WORK IN R.O.W. TO BE DONE PER THE CITY OF ROANOKE RIGHT-OF-WAY EXCAVATION AND RESTORATION STANDARDS.



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DOLLAR GENERAL
STORE #XXXXX

**ROANOKE,
VA
BRANDON**

DOLLAR GENERAL REVIEW SET
02.16.11
MJM XXXXX

| | CITY REVIEW COMMENTS | |
|--|----------------------|---|
| | 1 | 2 |
| | 03.23.11 | |
| | 04.19.11 | |

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SITE LAYOUT AND
UTILITY PLAN APPROVED
MAY 18 2011

C2.1

ARCHITECTS

SEAL

CONSULTANT

OWNER

LOCATION

DATE

SHEET