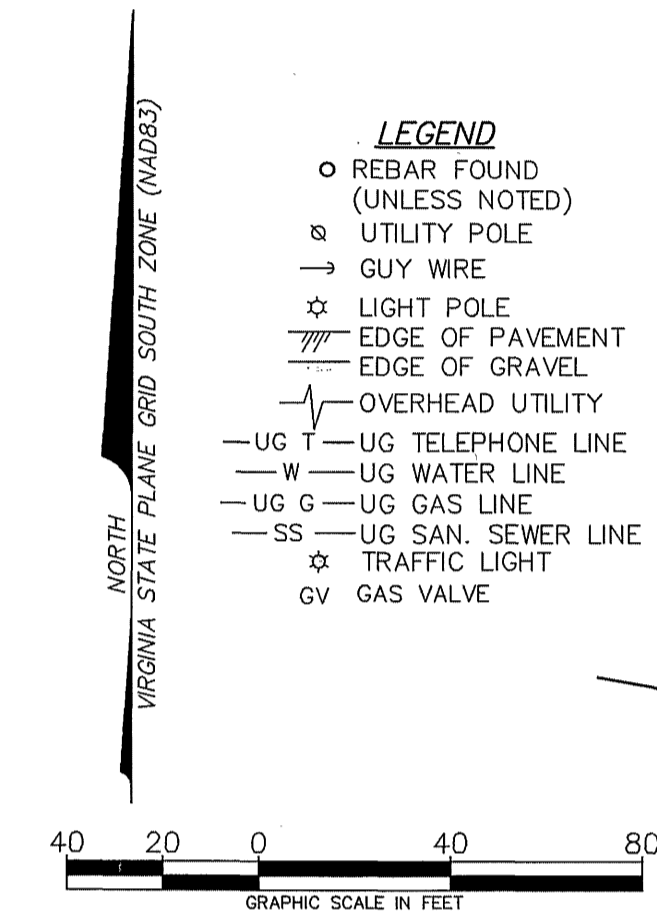


LEGAL DESCRIPTION:

BEGINNING AT REBAR SET IN THE SOUTHERN RIGHT-OF-WAY OF RIVERLAND ROAD S.E.; THENCE ALONG SAID RIGHT-OF-WAY ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 11 DEGREES 31 MINUTES 00 SECONDS, A LENGTH OF 237.37 FEET, A RADIUS OF 1180.91 FEET, A CHORD OF 236.97 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 29 MINUTES 16 SECONDS EAST TO A REBAR SET; THENCE SOUTH 51 DEGREES 03 MINUTES 44 SECONDS EAST 37.53 FEET TO A REBAR SET IN THE WESTERN RIGHT-OF-WAY OF GARDEN CITY BOULEVARD S.E.; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING COURSES; SOUTH 05 DEGREES 46 MINUTES 14 SECONDS WEST 203.30 FEET TO A REBAR FOUND, ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 8 DEGREES 36 MINUTES 58 SECONDS, A LENGTH OF 39.32 FEET, A RADIUS OF 261.48 FEET, A CHORD OF 39.28 FEET AND A CHORD BEARING OF SOUTH 15 DEGREES 47 MINUTES 02 SECONDS WEST TO A REBAR SET; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 71 DEGREES 13 MINUTES 34 SECONDS WEST 266.16 FEET TO A REBAR FOUND; THENCE NORTH 05 DEGREES 24 MINUTES 26 SECONDS EAST, PASSING A REBAR FOUND AT 147.00 FEET, A TOTAL DISTANCE OF 222.22 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.450 ACRES.

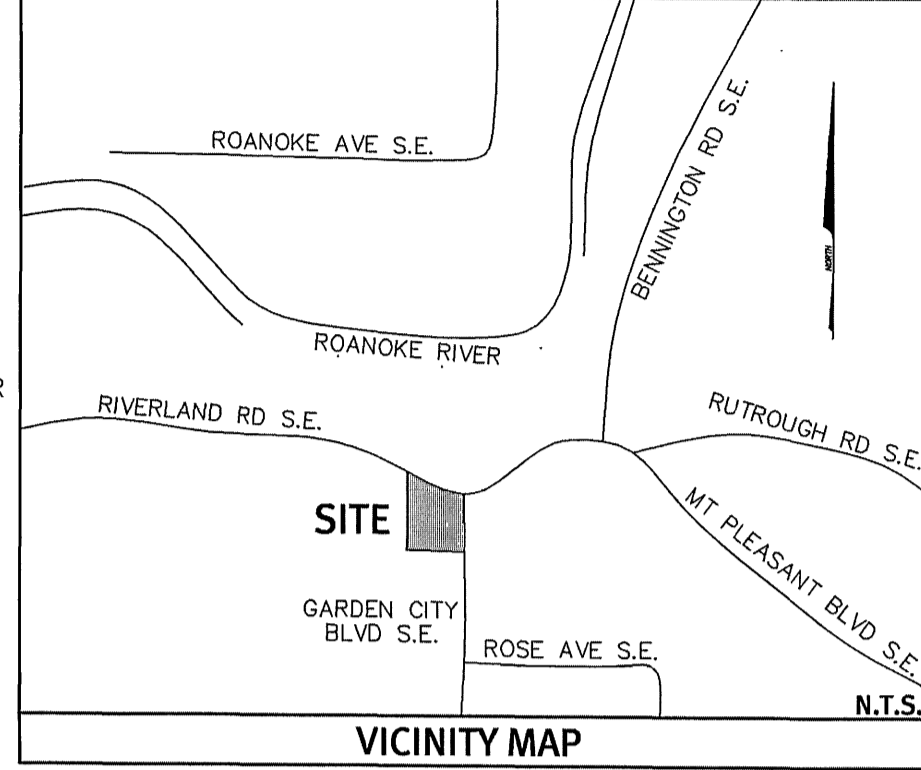


SURVEYOR'S CERTIFICATION

TO: GBT REALTY CORPORATION,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2005 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AS OF JANUARY 1, 2006, AND INCLUDES ITEMS 1-5, 7A, 7B, 8-11, 11B, 13, 16-17 OF TABLE "A" THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF VIRGINIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

J. ADAM BRYANT, LS  
REGISTERED LAND SURVEYOR NO. 2863  
IN THE STATE OF VIRGINIA



SOURCE OF TITLE:

THE AREA SHOWN WAS ACQUIRED BY WS ASSOCIATES OF VIRGINIA, L.L.C. FROM VIVIAN L. THIERRY, GERALDINE T. LYLE AND BETTY T. MARTIN BY DEED DATED OCTOBER 14, 1999 AS RECORDED AT INST #990015661 OF THE CIRCUIT COURT CLERKS OFFICE OF THE CITY OF ROANOKE.

SUBJECT PLAT OF REFERENCE:

PLAT BY CLARK SURVEYING TITLED "BOUNDARY SURVEY FOR VIVIAN L. THIERRY, GERALDINE T. LYLE & BETTY T. MARTIN", DATED MAY 5, 1998.

SANITARY SCHEDULE

- (A) MANHOLE  
TOP 915.56'  
INV IN 907.2'  
INV OUT 907.1'
- (B) MANHOLE  
TOP 914.72'  
INV IN 905.7'  
INV OUT 905.6'
- (C) MANHOLE  
TOP 917.07'  
INV IN 904.0'  
INV OUT 903.9'

STORM SCHEDULE

- (1) CURB INLET  
TOP 914.12'  
INV OUT 910.6'  
THROAT 5.0'  
DEPTH 3.5'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 51°03'44" E	37.53

CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	11°31'00"	237.37	1180.91	236.97	S 79°29'16" E
C2	8°36'58"	39.32	261.48	39.28	S 15°47'02" W

NOTES

- THIS PLAT HAS BEEN PREPARED FROM AN ACTUAL FIELD SURVEY DONE AS PER DATE OF THIS PLAT AND THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN.
- THIS PLAT HAS BEEN PREPARED WITH THE BENEFIT TITLE REPORT #091035694 BY BRIDGETRUST TITLE GROUP DATED EFFECTIVE APRIL 15, 2011.
- A PORTION OF THE AREA SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X' FOR A 500 YEAR FLOOD AND 'AE' FOR A 100 YEAR FLOOD AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON COMMUNITY-PANEL MAP #51161C0256G DATED SEPTEMBER 28, 2007. THE LIMITS OF EACH ZONE HAVE BEEN SCALED FOR GRAPHICAL REPRESENTATION AND SHOULD BE CONSIDERED APPROXIMATE.
- THIS PLAT WAS PREPARED AT THE REQUEST OF GBT REALTY CORPORATION.
- VERTICAL CONTROL FOR THIS PROJECT IS BASED ON NAVD88.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE, PHYSICAL EVIDENCE AND THE MARKINGS OF MISS UTILITY OF VIRGINIA. THIS SURVEY CANNOT GUARANTEE THAT ALL UTILITIES WITHIN THE PROJECT AREA ARE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE UNDERGROUND UTILITIES MARKED PRIOR TO EXCAVATION/LAND DISTURBANCE OF ANY KIND.
- THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT RESPONSIBLE CHARGE OF J. ADAM BRYANT FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE DATA WAS OBTAINED APRIL 6, 2011 AND THIS PLAT MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
- DISTANCES AND INTERIOR ANGLES SHOWN HEREON MATCH THOSE ON SUBJECT PLAT OF REFERENCE. BEARINGS DIFFER BASED ON VIRGINIA STATE PLANE ROTATION.



EASEMENTS FURNISHED IN TITLE COMMITMENT BY BRIDGETRUST TITLE GROUP COMMITMENT #091035694 DATED EFFECTIVE APRIL 15, 2011. THAT MAY ENCUMBER THE SUBJECT PROPERTY BUT THEIR EXACT LOCATIONS HAVE NOT BEEN DETERMINED		
DB/PG	BENEFITS	RIGHT OF WAY
85/440	CHESAPEAKE AND POTOMAC TELEPHONE COMPANY	EASEMENT
EASEMENTS FURNISHED IN TITLE COMMITMENT BY BRIDGETRUST TITLE GROUP COMMITMENT #091035694 DATED EFFECTIVE APRIL 15, 2011. THAT ENCUMBER THE SUBJECT PROPERTY		
DB/PG	BENEFITS	RIGHT OF WAY
1418/653	APPALACHIAN POWER COMPANY	POWER LINE EASEMENT
411/328-335	COMMONWEALTH OF VIRGINIA	EASEMENT FOR CONSTRUCTION AND MAINTENANCE AND UTILITIES

ENGINEERING & SURVEYING & PLANNING  
**HURT & PROFFITT**  
INCORPORATED  
2524 LANGHORNE ROAD  
LYNCHBURG VA 24501  
800.242.4986 TOLL FREE  
434.547.0047 FAX

ALTA/ACSM LAND TITLE SURVEY  
PROPERTY OF  
**WS ASSOCIATES OF VIRGINIA, L.L.C.**  
CITY OF ROANOKE, VIRGINIA

PROJECT NO. 20110138  
G.L. NO. 260-07-00.0  
FILE NO. SM-13172  
DATE: 4/6/11  
DRAWN BY: JAB  
CHECKED BY: JAB

**HURT & PROFFITT**

SHEET NO.  
**1 OF 1**