

**SITE INFORMATION:**

TAX MAP NUMBER: 018.18-05-00.00

ZONING: I1C

ZONING CONDITIONS:  
ORDINANCE # 111604-10 DATED 11-16-04.

1. Owner/developer shall prepare the site in full accordance with Virginia Department of Environmental Quality regulations pertaining to wetlands and Roanoke County storm water management regulations.

2. The property shall be accessed from Friendship Lane by a street built to Virginia Department of Transportation standards directly opposite the center line of existing Garland Circle as depicted on rezoning exhibit by Lumsden Associates, PC, dated September 22, 2004.

BUILDING CONSTRUCTION TYPE: IIB

USE: OFFICE: 2,500 S.F.  
INDUSTRIAL TYPE I: 5,649 S.F.

EXISTING LOT AREA: 0.836 AC.

MINIMUM LOT AREA: 15,000 SQ.FT.  
LOT AREA PROVIDED: 36,416 SQ.FT.

PROPOSED BUILDING:  
1 STORY 8,149 SQ.FT.

MAXIMUM HEIGHT OF BUILDING ALLOWED: 45'  
ACTUAL BUILDING HEIGHT: ±20.1'

REQUIRED PARKING:  
3 SPACES PER 1,000S.F. OF OFFICE (2,500) - 8 SPACES  
INDUSTRIAL TYPE I (5,649) - 6 SPACES

PROVIDED: 13 STANDARD SPACES  
1 HANDICAP SPACE  
14 PARKING SPACES PROVIDED

LOADING SPACES: 1 REQUIRED  
1 PROVIDED

SETBACKS FOR I-1 ZONING:  
FRONT YARD: 30' OR 20' WHEN ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE

SIDE YARD: 10'

REAR YARD: 15'

MAXIMUM BUILDING LOT COVERAGE IN I-1: 50%  
BUILDING LOT COVERAGE PROVIDED: 23%

MAXIMUM LOT COVERAGE: 90% IN I-1  
LOT COVERAGE PROVIDED: 54%

EXISTING LOT FRONTAGE: 122'

**NOTES:**

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, & VDOT.

2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.

3. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.

4. ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.

5. A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL PRIOR TO SITE PLAN APPROVAL (SEE SECTION 30-94.1). ANY CHANGES IN THE LIGHTING PLAN SHALL BE PROVIDED TO ROANOKE COUNTY AS A FIELD REVISION FOR REVIEW AND APPROVAL. (SEE SHEET C-11)

6. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.

7. STORMWATER MANAGEMENT WAS PROVIDED PREVIOUSLY FOR THE SUBDIVISION AND FUTURE DEVELOPMENT WITHIN IT. PLEASE REFER TO NEW CENTURY INDUSTRIAL PARK CIVIL PLANS FOR ANY ADDITIONAL INFORMATION. DRAINAGE FOR THIS SITE IS BEING CONVEYED TO THE EXISTING 24" RCP PIPE WHICH DISCHARGES INTO THE EXISTING STORMWATER MANAGEMENT FACILITY.

8. G.C. TO COORDINATE ALL UTILITY SERVICES TO THE PROPOSED BUILDING. ALL UTILITIES FOR THE BUILDING INCLUDING ELECTRIC, GAS, ETC. SHALL BE INSTALLED UNDERGROUND FROM THE P.U.E. TO THE BUILDING.

9. ALL SIDE AND REAR DOWNSPOUTS SHALL BE TIED INTO THE ROOFLEADER STORM SYSTEM. THE FRONT GUTTERS SHALL DISCHARGE AT GRADE INTO THE PARKING AREA.

10. A SIGN PERMIT SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY SITE OR BUILDING SIGNAGE. ALL SIGNAGE SHALL BE COMPLY WITH SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.

**SANITARY SEWER NOTES:**

1. THE SANITARY SEWER CONNECTION SHALL BE MADE AT THE PREVIOUSLY STUBBED OUT LATERAL FOR LOT #5.

2. THE EXISTING CLEANOUT SHALL BE REMOVED AND REPLACED WITH A SAMPLING MANHOLE. THE SAMPLING MANHOLE SHALL BE INSTALLED PER WWA ST'D S-07.

3. G.C. TO VERIFY INVERT ELEVATION OF EXISTING CLEANOUT PRIOR TO INSTALLATION.

**WATER NOTES:**

1. THE EXISTING WATER METER SHALL BE RELOCATED ADJACENT TO THE PROPOSED ENTRANCE IN THE LANDSCAPE AREA ALONG THE RIGHT OF WAY LINE. A PRESSURE REDUCING VALVE IS REQUIRED TO BE INSTALLED AT THE WATER METER BOX.

2. THE G.C. SHALL CONTACT THE WWA DURING THE CONNECTION AND EXTENSION OF THE EXISTING LATERAL AND HAVE THE INSPECTOR REVIEW/APPROVE THE EXTENSION OF THE LATERAL TO THE NEW METER BOX LOCATION.

**SAW CUT NOTE:**

1. THE PROPOSED SAW CUT AND TACK COAT OF THE VERTICAL SURFACES SHALL BE APPLIED TO THE ENTRANCE WHERE THE PROPOSED CONCRETE ENTRANCE MEETS THE EXISTING MAINLINE OF PAVEMENT. THE SAW CUT SHALL BE THE FULL DEPTH OF PAVEMENT. NO RUNOFF SHALL TRAVEL ALONG A SEAM IN THE PAVEMENT.

**STORM STRUCTURE SCHEDULE:**

NYLOPLAST 12" YARD INLET  
TOP=1086.25  
INV=1084.75

47 LF OF 8" HDPE  
PIPE AT 2.0%

NYLOPLAST STORM CLEANOUT  
TOP=1086.9  
INV=1083.81

57 LF OF 8" HDPE  
PIPE AT 2.0%

NYLOPLAST STORM CLEANOUT  
TOP=1085.9  
INV=1082.67

50 LF OF 8" HDPE  
PIPE AT 2.0%

NYLOPLAST STORM CLEANOUT  
TOP=1087.0  
INV=1081.67

76 LF OF 8" HDPE W/15" BEND  
PIPE AT 1.8%

CONTECH CATCHBASIN STORMFILTER  
TOP=1083.3  
INV IN=1080.33  
INV OUT=1080.00

113 LF OF 15" HDPE  
PIPE AT 2.8%

VDOT STD MH-2 MANHOLE  
TOP=1082.7  
INV IN=1076.84  
INV OUT=1076.74

VDOT STD DI-3B INLET  
THROAT=10'  
TOP=1080.9  
INV IN=1077.3 (4")  
INV OUT=1077.2(15")

36 LF OF 15" HDPE  
PIPE AT 1.00%

73 LF OF 15" HDPE  
PIPE AT 1.00%

Existing storm manhole  
Top=1083.36  
NEW DI-7 Top=1082.36  
(TYPE III GRATE)  
NEW INV IN=1076.00  
Inv Out=1073.76 (ex. 24")

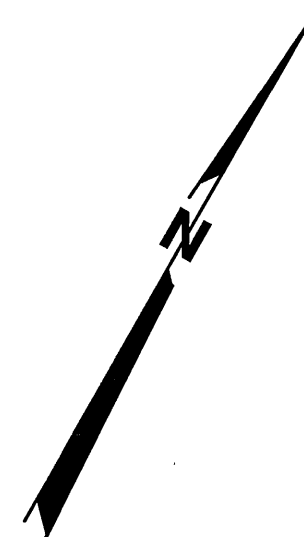
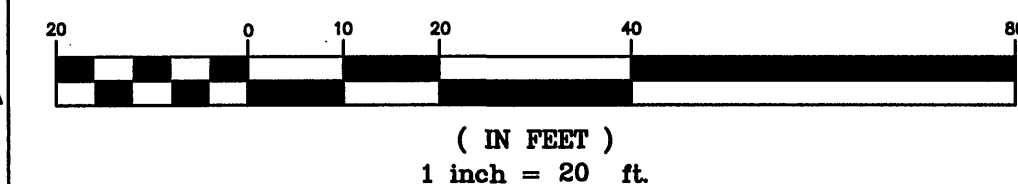
NOTE: ALL HDPE PIPE SHALL BE N-12  
SMOOTH INTERIOR OR APPROVED EQUAL.

**SANITARY SEWER SCHEDULE:**

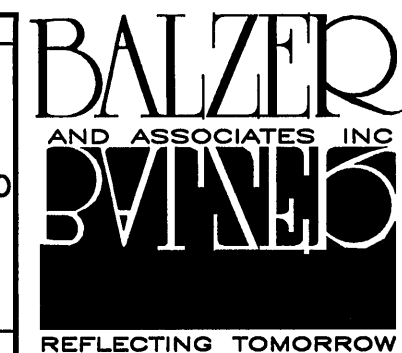
FROM	INV OUT	TO	INV IN	
A	1083.5	B	1081.5	53' OF 6" SDR-35 PVC @ 3.77%
B	1081.5	C	1079.2	54' OF 6" SDR-35 PVC @ 4.28%
C	1079.2	D	1074.7	52' OF 6" SDR-35 PVC @ 8.65%
D	1074.7	E	1074.5	4' OF 6" SDR-35 PVC @ 5.00%
				G.C. TO VERIFY EXISTING INV.

\*NOTE: ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC PIPE.

**GRAPHIC SCALE**



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21



New River Valley  
Richmond  
Roanoke  
Shenandoah Valley

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
GEOTECHNICAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

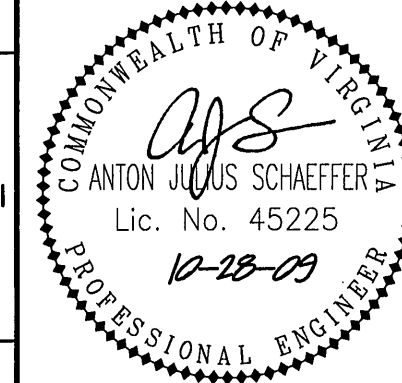
Balzer and Associates, Inc.

1208 Corporate Circle

Roanoke, VA 24018

540-772-9580

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E COMMERCE VENTURES  
LAYOUT & UTILITY PLAN  
HOLLINS DISTRICT  
ROANOKE COUNTY, VIRGINIA

DRAWN BY BTC  
DESIGNED BY BTC  
CHECKED BY AJS  
DATE 09/03/2009  
SCALE 1"=20'

REVISIONS:  
10-7-09  
10-28-09

SHEET NO.  
**C-3**  
JOB NO. R0900104.00

As-Built 1.12.11 K. Winslow