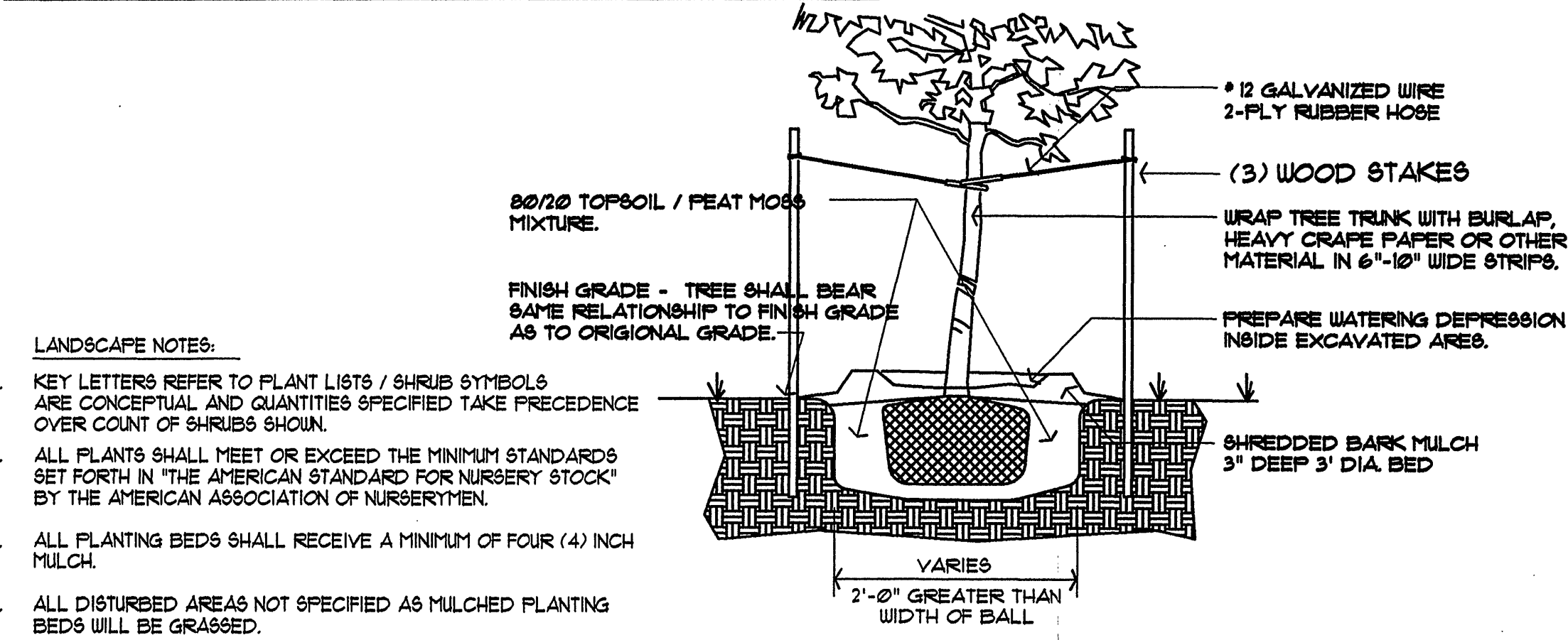


LANDSCAPE PLANT SCHEDULE						
SYMBOL	COUNT	COMMON NAME	CAL.	SIZE	ROOT	MULCH
T-1	17	BRADFORD PEAR	2-2 1/2"	--	B4B	



CONSTRUCTION PROCEDURE REQUIREMENTS - CITY OF ROANOKE, VA.

- FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.
- CITY INSPECTIONS:** To ensure the coordination of timely and proper inspections, a preconstruction conference shall be initiated by the Contractor with the City Engineering Department. Call 540-893-1730 to arrange a conference at least three (3) days prior to anticipated construction.
 - STREET OPENING PERMIT:** Prior to the commencement of any digging, alteration, or construction within the public right-of-way (streets, alleys, public easements) a street opening permit shall be applied for and obtained by the Contractor from the City of Roanoke.
 - PLANS AND PERMITS:** A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
 - LOCATION OF UTILITIES:** The Contractor shall verify the location of all existing utilities prior to the commencement of any construction.
 - CONSTRUCTION ENTRANCE:** The Contractor shall install an adequate construction entrance for all construction-related egress from the site. Size and composition of construction entrance shall be determined by the City Site Plan Inspector.
 - STREETS TO REMAIN CLEAN:** It shall be the responsibility of the Contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
 - SEWER AND PAVEMENT REPLACEMENT:** Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke.
 - APPROVED PLANS/CONSTRUCTION CHANGES:** Any change or variation from construction design as shown on the officially approved plans shall be approved by the City Engineer prior to said changes or variations in construction being made.
 - FINAL ACCEPTANCE/CITY:** The Developer or Contractor shall furnish the City of Roanoke Engineering Department with a final correct set of as-built plans prior to final acceptance by the City.

SEEDBED PREPARATION:

- PREPARE SEEDBED BY RIPPING, CHISELING, HARROWING, OR FLOWING TO A DEPTH OF FOUR (4) INCHES SO AS TO PRODUCE A LOOSE FRIABLE SURFACE. TOPSOIL SHALL BE EVENLY SPREAD TO A THICKNESS OF NOT LESS THAN FOUR (4) INCHES AND TO THE ELEVATIONS AND SLOPES INDICATED.
- REMOVE ALL STONES, BOULDERS, STUMPS, ROOTS, OR DEBRIS FROM THE SURFACE, WHICH WOULD PROHIBIT GERMINATION OR PLANT GROWTH.
- INCORPORATE INTO THE SOIL 200 TO 1000 LBS. OF 10-10-10 FERTILIZER PLUS 500 LBS. OF TWENTY PERCENT (20%) SUPERPHOSPHATE PER ACRE AND TWO TONS OF DOLOMITE LIME PER ACRE UNLESS SOIL TESTS INDICATE THAT A LOWER RATE OF LIME CAN BE USED.
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED FIRM, REASONABLY UNIFORM SEADBED IS PREPARED 4 TO 6 INCHES DEEP.
- SELECT SEEDING MIXTURE AND BEST PLANTING DATES FROM THE TABLE. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING WITH 15 TONS OF GRAIN STRAW PER ACRE AND EITHER CRIMP STRAW INTO SOIL OR TACK WITH LIQUID ASPHALT AT 400 GAL. PER ACRE OR 300 GAL. PER ACRE EMULSIFIED ASPHALT.
- INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON. IF STAND IS 60% OR OVER DAMAGED, REESTABLISH ORIGINAL FERTILIZER, LIME AND SEEDING RATES.
- CONSULT SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING ALTERNATIVES FOR VEGETATION OF DENUDED AREAS.

EROSION CONTROL GENERAL NOTES:

- No land disturbing activity shall commence until all necessary permits are obtained from the City of Roanoke, Virginia.
- All erosion control devices shall be installed with the first phase of construction and shall remain in place until disturbed areas are stabilized and serious erosion no longer exist.
- The Contractor shall construct and maintain silt fences and other approved services sufficient to prevent soil from being eroded from the site to any adjacent drainage system, ditch or water course, any material that is so eroded shall be promptly removed.
- The Contractor shall monitor the site during periods of heavy rain to insure the proper continued performance of all soil erosion and sediment control measures.
- All erosion control measures shall be maintained throughout the construction until complete and vegetation is established or erosion control device is displaced by construction. All sediment deposited behind the barriers shall be removed and disposed of in a protected area.
- Construction of soil erosion and sediment control devices shall conform to the Virginia Soil Erosion and Sediment Control Handbook.
- The Contractor shall construct and maintain a temporary construction entrance using 2" stone or greater with a minimum thickness of 6" and width equal to that of the proposed entrance and a minimum length of 100 feet.
- Soil stabilization must be applied to denuded areas within 7 days after final grade is reached on any portion of the site. Soil conditioning, incorporation of lime, fertilizer, selection of certified seed, mulching, maintenance of new seedlings and re-seeding shall be in accordance with specifications contained in the Virginia Soil Erosion and Sediment Control Handbook.

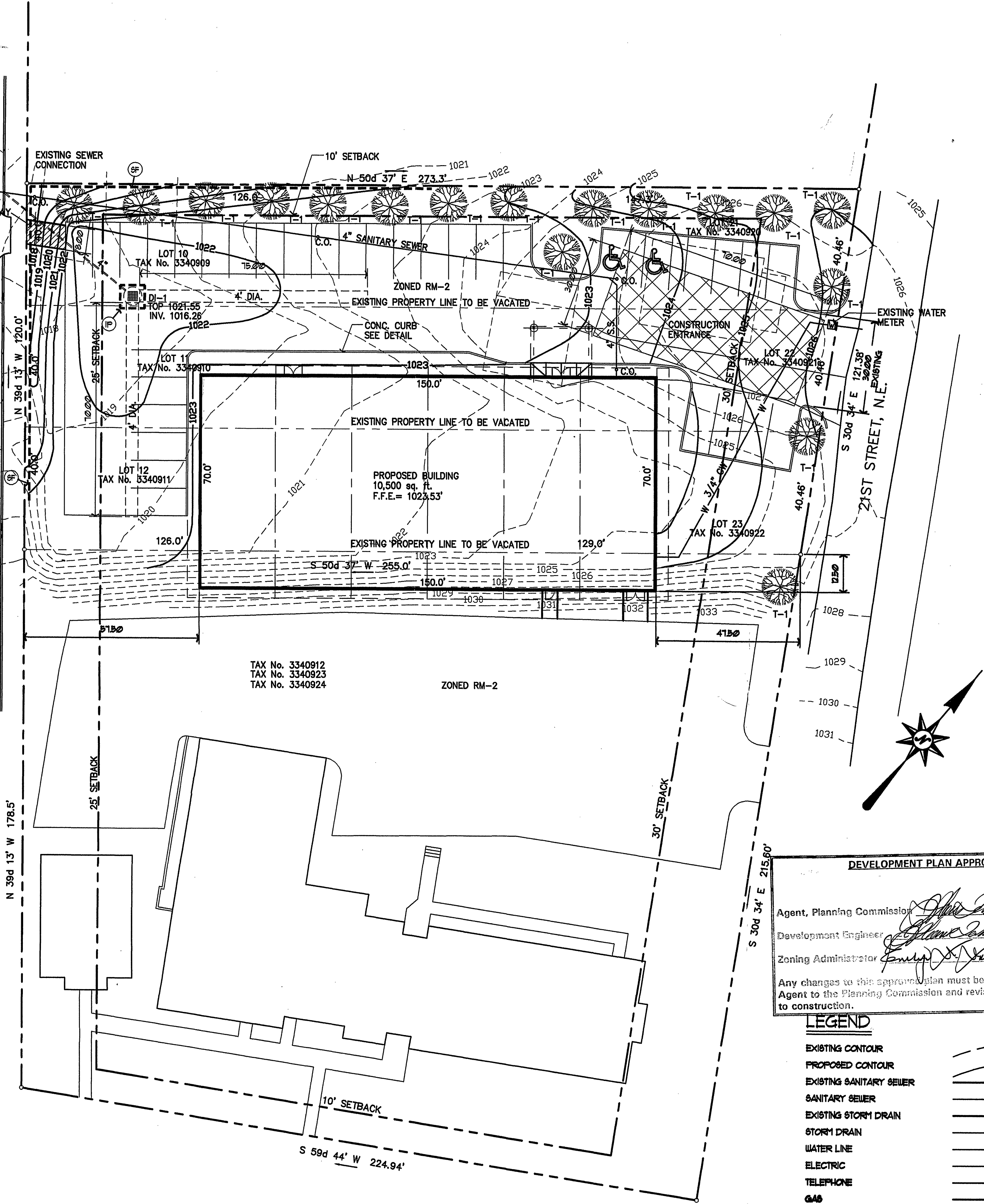
LIME: 100 lbs./1000 SF.
FERTILIZER: 5-20-10 = 5 lbs./ 1000 SF.
30-0-0 = 3 lbs./ 1000 SF.

SEED MIXTURE: Seeding shall be done only during the periods listed for the type seeding materials as indicated. All rates per 1000 sq. ft.

15 Oct.-1 Feb. K-31 Fescue @ 5 lbs.
Borzy Winter Rye @ 1/2 lbs.

1 Feb.-1 June or 1 Sept.-15 Oct. K-31 Fescue @ 5 lbs.
Annual Rye @ 1/2 lbs.

1 June-1 Sept. K-31 Fescue @ 5 lbs.
German Millet @ 1/2 lbs.



SITE DEVELOPMENT PLAN

SCALE 1"= 20'

NOTE: SUBJECT PROPERTY IS NOT WITHIN THE LIMITS OF THE 100 yr. FLOOD PLAN AS DEFINED BY FEMA.

DEVELOPMENT PLAN APPROVED

Date: 8/14/2002
Agent, Planning Commission: [Signature]
Development Engineer: [Signature]
Zoning Administrator: [Signature]
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

LEGEND

EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING SANITARY SEWER
SANITARY SEWER
EXISTING STORM DRAIN
STORM DRAIN
WATER LINE
ELECTRIC
TELEPHONE
GAS
SILT FENCE
CONCRETE CURB
INLET PROTECTION

NOTE:

- EXISTING WATER AND SEWER SERVICE TO REMAIN
- ALL UTILITIES APPROXIMATE LOCATION. CONTACT MISS UTILITY FOR EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- NO DUMPSTER TO EXIST ON SITE.
- NO SIGNAGE EXPECTED.

This drawing is the property of Kinsey, Shane & Associates and it is to be used only for project and site specifically identified herein. Reuse of this drawing on extensions of this project or any other project, without written permission of the Architect/Engineer is prohibited. This drawing is the property of Kinsey, Shane & Associates and shall be returned upon request.

Revisions

CODE REVIEW 07-19-02

SITE PLAN REVIEW 07-29-02



**Kinsey
Shane
& Associates**

Architecture
Engineering

Salem, Virginia

NEW BUILDING FOR
EAST GATE CHURCH of the NAZARENE
2202 EAST GATE AVE, N.E.
ROANOKE, VIRGINIA

RECEIVED

AUG 9 9 2002

CITY OF ROANOKE
PLANNING BOARDING AND DEVELOPMENT

Date: 06-07-02

Drawn

Sheet No.

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