

SITE SUMMARY:

OWNER/DEVELOPER: STONECREEK PROPERTIES LLC
231 STONECREEK WAY
ROANOKE, VA 24019

TAX MAP NUMBER: 027.11-01-39.00-0000

EXISTING LOT SIZE: 0.30 AC.

ZONING: C2 - GENERAL COMMERCIAL

PROPOSED USE: GENERAL OFFICE

MINIMUM LOT SIZE REQUIRED: EXISTING LOT OF RECORD

LOT SIZE PROVIDED: 0.30 AC.

EXISTING LOT FRONTAGE: 75'

SETBACKS: 30' F.Y.S. OR 20' F.Y.S. PROVIDED ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE.
NONE - SIDE SETBACK
15' REAR YARD SETBACK

MAXIMUM BUILDING COVERAGE: 50%
BUILDING COVERAGE PROVIDED: 19%

MAXIMUM BUILDING HEIGHT: 45'
BUILDING HEIGHT PROVIDED: APPROX. 26'

MAXIMUM LOT COVERAGE: 90%
LOT COVERAGE PROVIDED: 67%

PARKING: 3 SPACES PER 1,000 S.F.

2,401 S.F. (BUILDING FOOTPRINT)

8 SPACES REQUIRED
9 SPACES PROVIDED

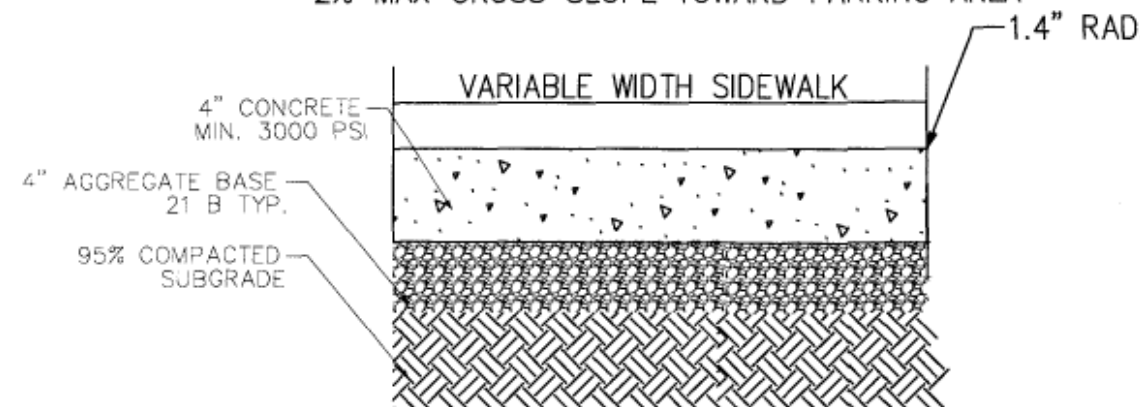
HANDICAPPED PARKING SPACES
REQUIRED: 1 SPACE
PROVIDED: 1 SPACE

LOADING SPACES
REQUIRED: 1 SPACE
PROVIDED: 1 SPACE

LAYOUT PLAN NOTES:

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY & VDOT.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- EXISTING PAVEMENT TO BE SAWCUT AT LEAST 1' FROM THE EX. EP OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT.
- A SIGN PERMIT MUST BE OBTAINED FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF ANY SIGNAGE ON-SITE.
- ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL BY THE LIGHTING CONTRACTOR AS REQUIRED FOR ANY PROPOSED LIGHTING.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, PROPOSED GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED FROM VIEW.
- MINIMUM SIGNAGE SETBACK SHALL BE 10' IF THE PROPOSED SIGN IS 10' TALL OR LESS.
- W.V.W.A. SHALL REMOVE THE EXISTING 12" WATERLINE TEE AND MAKE A DIRECT TAP AT THAT LOCATION TO THE EXISTING 12" WATERLINE IN WILLIAMSON ROAD. G.C. SHALL PROVIDE THE REQUIRED TAPPING SLEEVE & VALVE. THE W.V.W.A. SHALL PERFORM THE ACTUAL WATERLINE TAP. CONTACT THE W.V.W.A. FOR COORDINATION CONSTRUCTION TIMEFRAMES.
- WILLIAMSON ROAD PAVEMENT REPAIR SHALL MATCH THE EXISTING PAVEMENT SECTION. G.C. TO COORDINATE DIRECTLY WITH VDOT INSPECTOR DURING PAVEMENT REPLACEMENT ACTIVITIES WITHIN THE RIGHT OF WAY OF ROUTE 11 (WILLIAMSON ROAD).
- G.C. SHALL PROVIDE A SERIES 3200 KNOX BOX AT THE ENTRY DOOR OF THE BUILDING PER COUNTY OF ROANOKE STANDARDS IN REGARDS TO MOUNTING HEIGHT AND TYPE OF KNOX BOX.

**** 2% MAX CROSS SLOPE TOWARD PARKING AREA ****

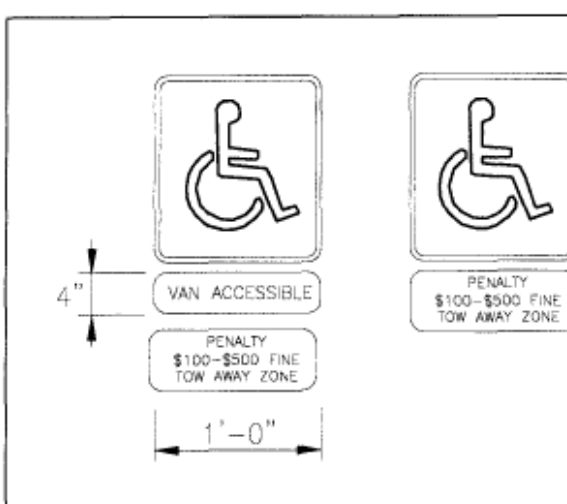


NOTE:
1. FINISHING DETAILS - EDGES SHALL BE TROWELED, LIGHT BROOM FINISH AND SCORING EVERY 6", EXPANSION JOINTS EVERY 60" MINIMUM

2. G.C. SHALL BE RESPONSIBLE FOR OBTAINING ADEQUATE SUB-GRADE COMPACTION PRIOR TO SIDEWALK CONSTRUCTION.

SIDEWALK DETAIL

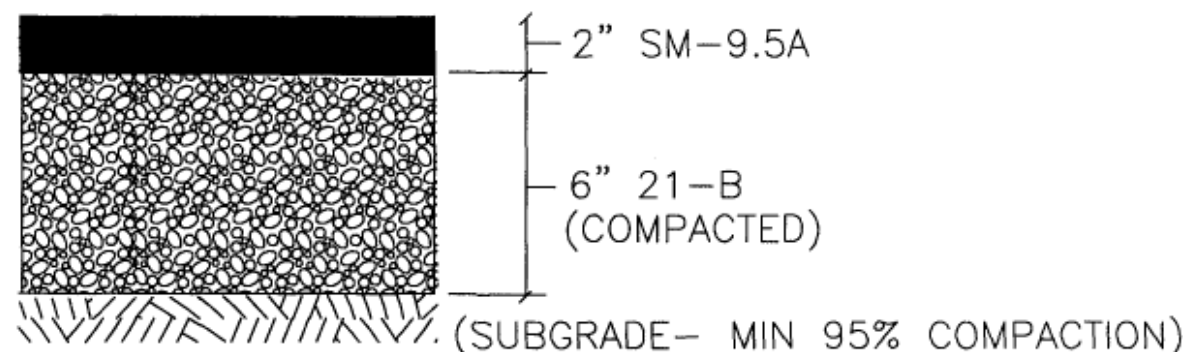
N.T.S.



HANDICAP SIGN NOTES:
1. THE PROPOSED SIGNAGE SHALL BE INSTALLED PER ADA STANDARDS.
2. ALL SIGNS SHALL BE REFLECTORIZED
3. ALL SIGNS SHALL BE SECURELY MOUNTED TO A POST, BOLLARD, OR BUILDING.
4. ALL HANDICAP PARKING SPACE SIGNS SHALL HAVE THE BOTTOM EDGE OF THE SIGN NO LOWER THAN FOUR FEET NOR HIGHER THAN SEVEN FEET ABOVE THE PARKING SURFACE.

HANDICAP SIGN DETAIL

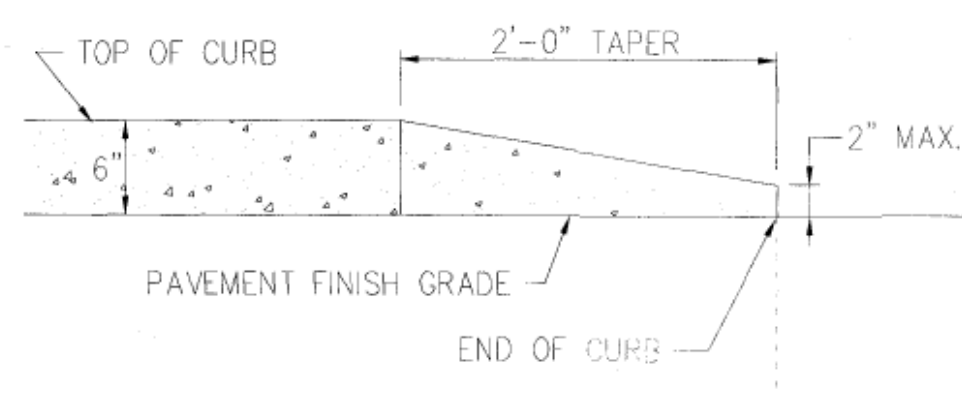
NO SCALE



PRIVATE ASPHALT PAVEMENT SECTION

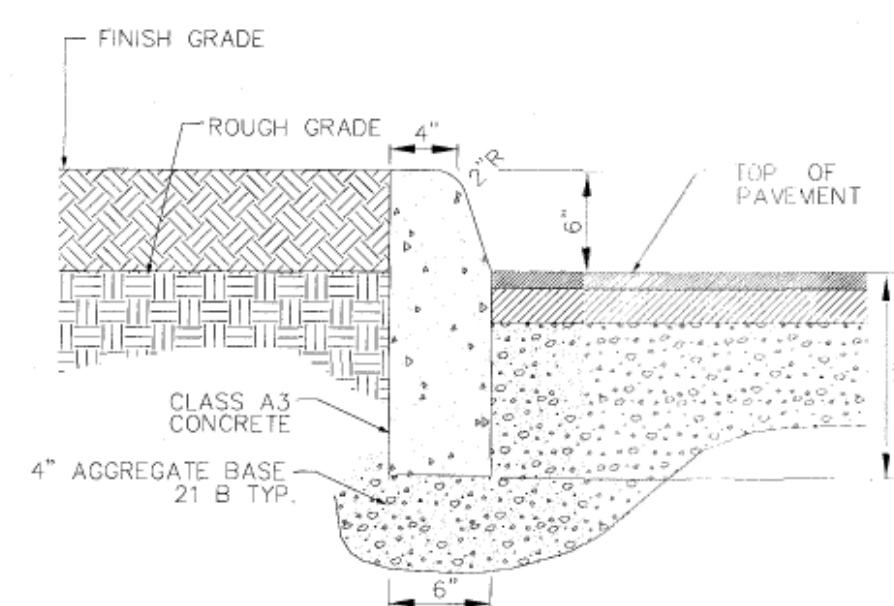
NO SCALE

- A TACK COAT SHALL BE APPLIED BETWEEN ASPHALT PAVEMENT LAYERS
- G.C. TO ENSURE A MINIMUM OF 95% COMPACTION OF THE SUBGRADE PRIOR TO STONE/ASPHALT PLACEMENT.



CURB TAPER DETAIL - SECTION

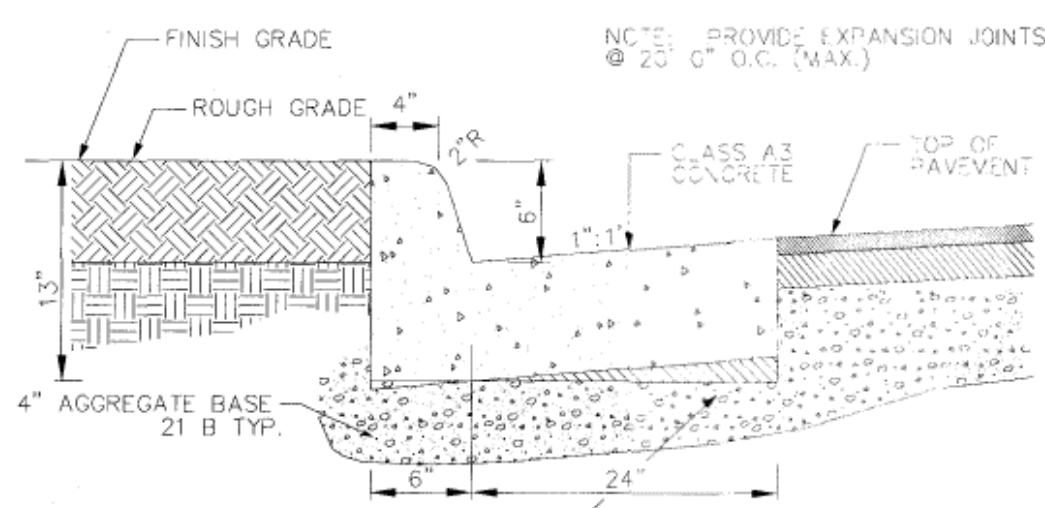
NO SCALE



CG-2 DETAIL TYP.

N.T.S.

(SUBGRADE- MIN 95% COMPACTION)



THE BOTTOM OF THE CURB & GUTTER MAY BE CONSTRUCTED PARALLEL TO THE SLOPE OF THE SUBSURFACE COURSES PROVIDED A MINIMUM DEPTH OF 7" IS MAINTAINED

- NOTE:**
- G.C. SHALL BE RESPONSIBLE FOR OBTAINING ADEQUATE SUB-GRADE COMPACTION PRIOR TO SIDEWALK CONSTRUCTION.
 - ALL PUBLIC CURB & GUTTER CONSTRUCTION SHALL CONFORM TO THE CITY OF ROANOKE RIGHT OF WAY EXCAVATION & RESTORATION STANDARDS, LATEST EDITION.

CG-6 (WET) DETAIL

N.T.S.

- ALL LETTERS ARE 1" SERIES 'C' PER 2003 MUTCD.
- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- ONE (1) SIGN REQUIRED FOR EACH ACCESSIBLE PARKING SPACE.
- INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
- SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.

N/F
TEAM HOLLINS RIDGE, LLC
INST. #200717138 (PLAT)
INST. #200611433
T.M. #027.11-01-27.00
ZONING: C2

N/F
HOLLINS COLLEGE CORPORATION
D.B. 1507, PG. 873
T.M. #027.00-01-01.00
ZONING: C1

N63°19'45"E 35.00'

IPF @ 37.6'

IPF BEARS 500'45"18"W 1.5' FROM CORNER

TM:027.11-01-39.00
7745 WILLIAMSON ROAD
7746
LOT A1
0.302 AC.

PROPOSED PROFESSIONAL
OFFICE BUILDING
2,401 S.F.
1 STORY BLDG.

SEE ARCH. & M.E.P. PLANS FOR SPECIFIC UTILITY CONNECTION LOCATIONS.

S.S. CO. B TYP.

N/F
ROGER D. WILLIAMS
D.B. 1287, PG. 1736
T.M. #027.11-01-38.00
ZONING: C2

6" PVC S.S. LATERAL TYP.

ASPHALT PAVEMENT TYP.

VDOT ST'D CG-2 CURB TYP.

PROPOSED SIGNAGE (SEE PERMIT NOTE)

STOP SIGNAGE TYP.

S.S. CO. A TYP.

ex. S.S. CO. C

S.S. CONN. PT. INV.:1048.5

G.C. TO PROVIDE A W.V.W.A. ST'D 6"x6" WYE CONNECTION ON THE EXISTING 6" S.S. LATERAL. G.C. TO NOTIFY THE ADJACENT PROPERTY OWNER DURING THIS WORK TO ENSURE THERE IS NO DISRUPTION OF SERVICE. G.C. TO CONTACT THE W.V.W.A. INSPECTOR PRIOR TO MAKING THE CONNECTION TO ENSURE COMPLIANCE.

exist s.s. mh A
04c-3652
130 LF FROM CONNECTION
TOP:1055.90
INV.:1050.60

WILLIAMSON ROAD - U.S. RTE. 11
80' R/W

BENCHMARK: ELEVATION=1052.60'

ex. curb/grate inlet
TOP = 1052.20'
INV. IN = 1041.40'
INV. OUT = 1041.20'

G.C. TO PROVIDE A MAINTENANCE OF TRAFFIC PLAN TO VDOT PRIOR TO ANY WORK WITHIN THE ROUTE 11 RIGHT OF WAY
exist s.s. mh B
04c-3652
180 LF FROM CONNECTION
TOP:1050.05
INV.:1045.08

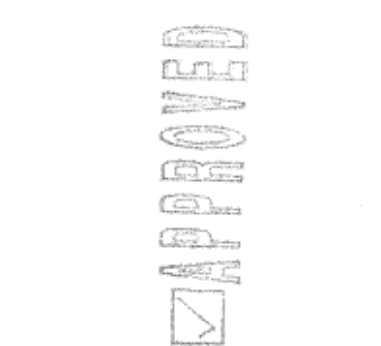
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Balzer and Associates, Inc.

1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



COMMONWEALTH OF VIRGINIA
CHRISTOPHER P. BURNS
Lic. No.047338
5-1-2013
PROFESSIONAL ENGINEER

EDWARD JONES #34972
LAYOUT & UTILITY PLAN
HOLLINS DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY BTC
DESIGNED BY BTC
CHECKED BY CPB
DATE 4/5/2013
SCALE 1"=10'
REVISIONS:
5/1/2013

SHEET NO.

C04

JOB NO. R1200160.0