

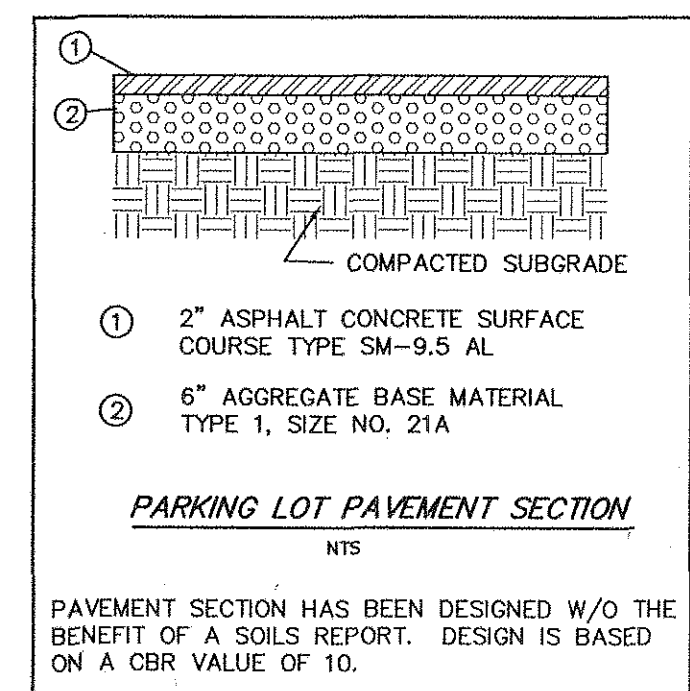
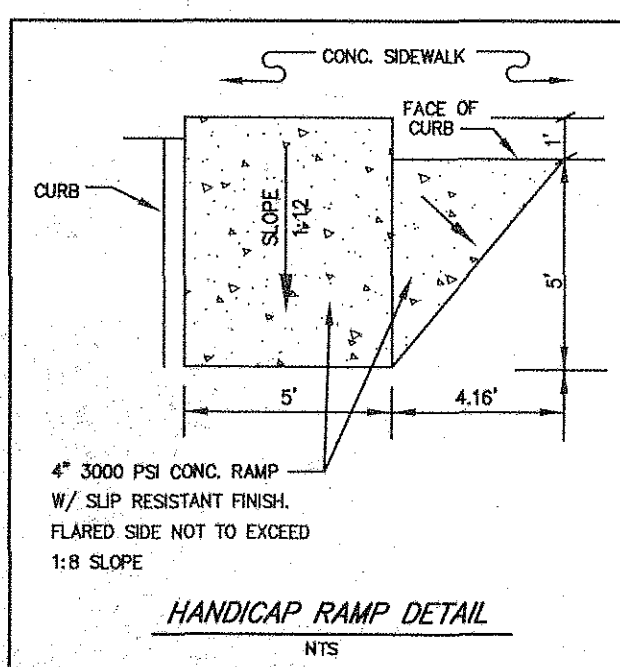
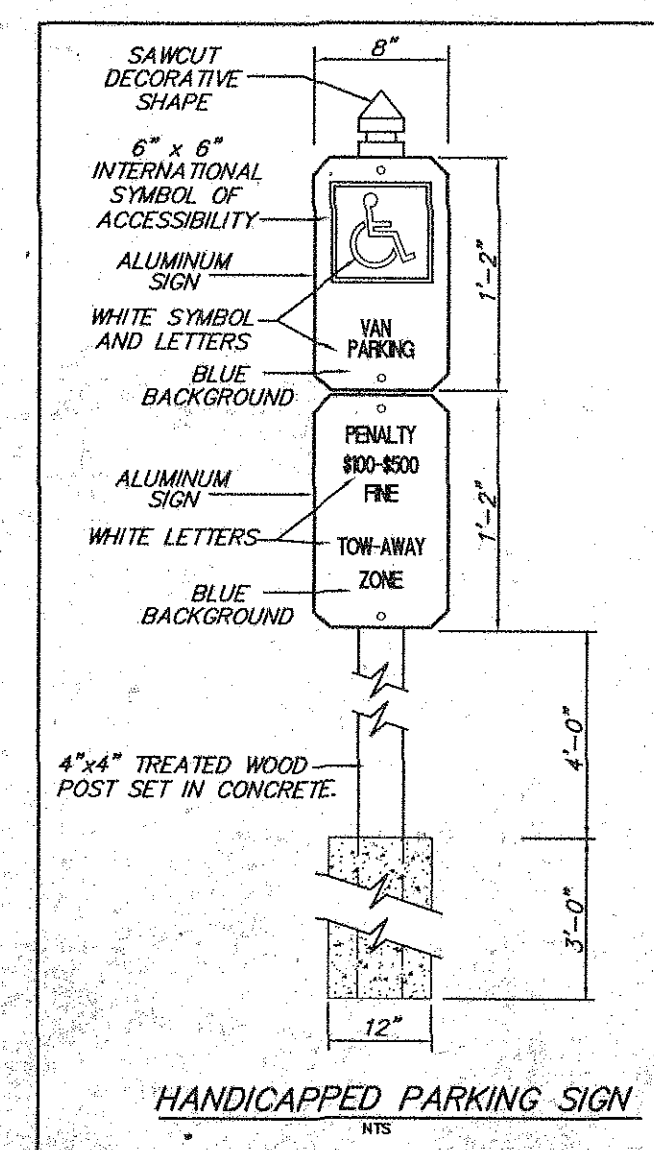
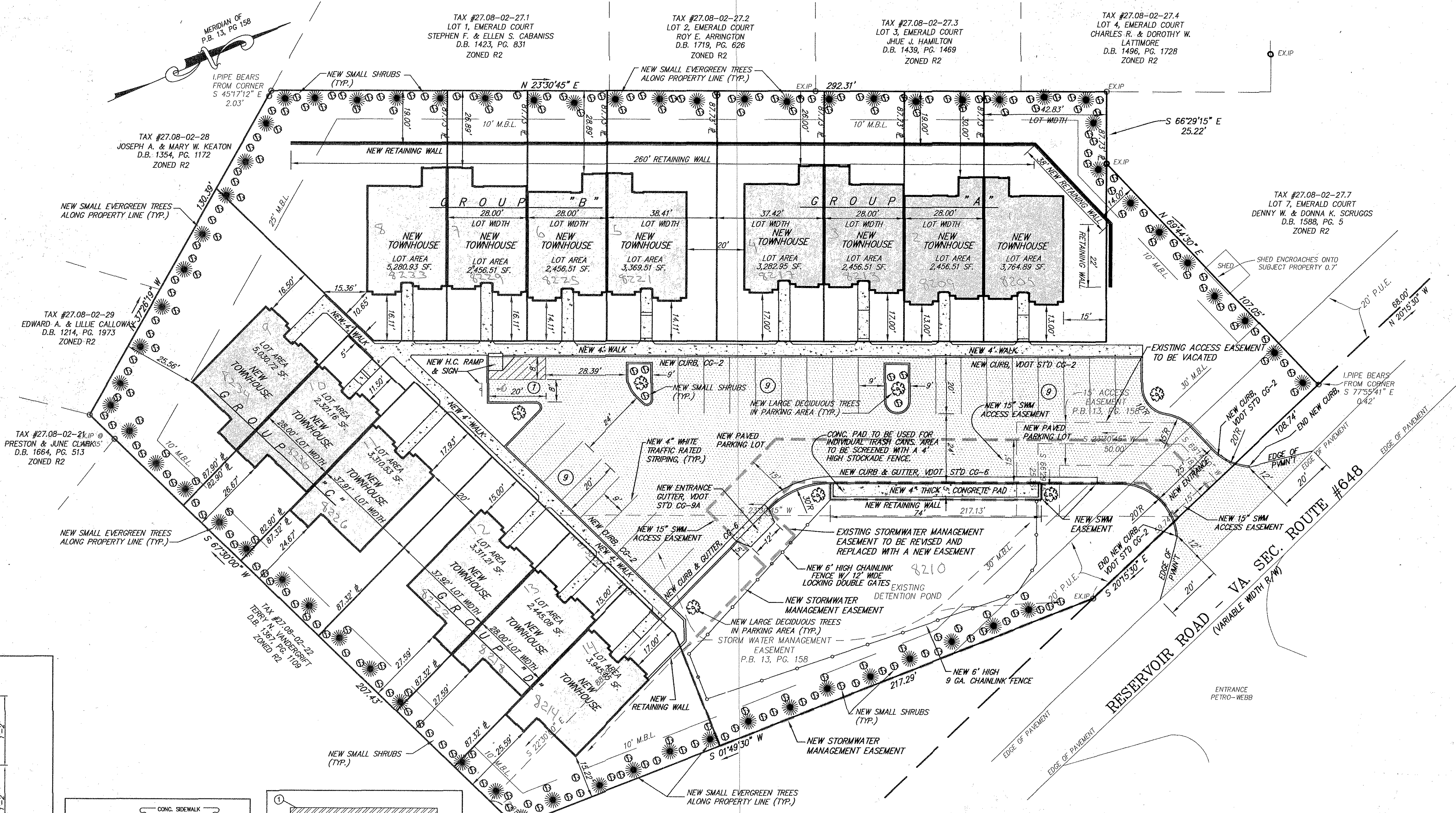
PROPERTY WAS REZONED AT THE ROANOKE COUNTY BOARD OF SUPERVISORS MEETING ON JULY 23, 1991 FROM A-1 TO R-3 WITH THE FOLLOWING SITE CONDITIONS:
 (A) PERMITTED USES ON THIS 1.709 ACRE TRACT SHALL BE TOWNHOUSES OR LOWER DENSITY USES IN ACCORDANCE WITH 21-22-4A (1-3).
 (B) THE HEIGHT OF THE PROPOSED STRUCTURE SHALL NOT EXCEED 35 FEET.
 (C) TYPE "B" SCREENING SHALL BE INSTALLED ALONG THE PROPERTY LINES ADJOINING LESSER DENSITY ZONING IN ACCORDANCE WITH SECTION 21-92 OF THE ROANOKE COUNTY ZONING ORDINANCE.
 (D) THE DENSITY OF THE PROPOSED DEVELOPMENT SHALL NOT EXCEED 12 UNITS PER ACRE.

NOTES
 ALL NEW EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. REFER TO ELECTRICAL PLANS FOR LOCATION AND TYPE OF SITE LIGHTING, WIRING AND CONDUIT.
 ALL NEW EXTERIOR SIGNS SHALL BE SIZED AND LOCATED ON-SITE PER ROANOKE COUNTY'S SIGN ORDINANCE. IF A FREESTANDING SIGN IS PROPOSED, A MINIMUM 15' SETBACK IS REQUIRED.
 CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR ROUTING OF ELECTRIC, TELEPHONE, CABLE AND GAS SERVICES.
 ALL UNDERGROUND UTILITIES ARE TO BE CLEARLY MARKED BY MISS UTILITY PRIOR TO BEGINNING CONST. ANY POTENTIAL CONFLICTS AS A RESULT OF THE MARKINGS SHALL BE MADE KNOWN TO THE ARCHITECT.
 DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND/OR EDGE OF PAVEMENT
 THE ALLOWABLE SIGNAGE FOR AN IDENTIFICATION SIGN WILL NOT EXCEED 30 SF.

SITE DATA
 PROPERTY OWNERS: CLINE & MARY CONNER AND SHELDON & VICKIE HENDERSON
 LEGAL DESCRIPTION: LOT 8, EMERALD COURT SUBDIVISION
 TAX MAP NUMBER: 027.08-02-27.00
 PROPERTY AREA: 1.70 ACRES
 PROPERTY ZONING: R3C
 PRESENT USE: VACANT PROPERTY
 PROPOSED USE: TOWNHOUSES
 NUMBER OF UNITS: 14 UNITS
 BUILDING FOOTPRINT AREA: 1,073 SF.
 BUILDING COVERAGE PERCENTAGE: MAXIMUM = 35%
 PROVIDED = 15,022 SF / 74,025 SF = 20.29%
 PARCEL SIZE: MINIMUM: 2,321.16 SF.
 MAXIMUM: 3,280.93 SF.

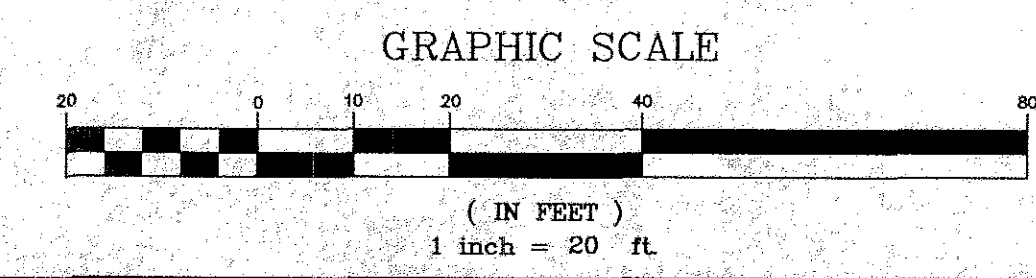
SCREENING: BETWEEN R3 SITE ZONING AND R2 ADJOINING PARCELS ZONING REQUIRED.
 1 ROW OF SMALL EVERGREEN TREES PLANTED @ 15' ON CENTER & 1 ROW OF SHRUBS PLANTED @ 5' ON CENTER
BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT NOT TO EXCEED 35'
PARKING REQUIRED: 2 SPACES/UNIT = 28 SPACES
PARKING PROVIDED: 28 SPACES TOTAL (INCLUDES 1 H.C. SPACE)

LANDSCAPING LEGEND
 7 TREES TOTAL: LARGE DECIDUOUS TREE, MINIMUM CALIPER OF ONE AND ONE HALF (1 1/2") AT TIME OF PLANTING, 36" MINIMUM AT FINAL HEIGHT
 66 TREES TOTAL: SMALL EVERGREEN TREE, MINIMUM 5' HEIGHT AT TIME OF PLANTING, & 15" MINIMUM FINAL HEIGHT
 202 SHRUBS TOTAL: SHRUBS, MINIMUM 24" HEIGHT AT TIME OF PLANTING, & 6" MINIMUM FINAL HEIGHT
 CROWN COVERAGE: REQUIRED 74,440x.35%=26,055 SF.
 CROWN COVERAGE: PROVIDED - TREES: 25,250 SF.
 SHRUBS: = 1,010 SF.
 CROWN COVERAGE: PROVIDED - TOTAL: 26,260 SF.



TAX #27.08-02-26
 JULIAN WORTON
 HEIRS
 W.B. 41, PG. 305
 ZONED R2

NO LAND DISTURBANCE OF ANY KIND ALLOWED ON ADJOINING PROPERTY WITHOUT WRITTEN AUTHORIZATION FROM THE PROPERTY'S OWNER.



BOUNDARY & TOPOGRAPHIC SURVEY
 OF
 LOT 8, EMERALD COURT (1.709 AC.)
 PLAT BOOK 13, PAGE 158
 TAX MAP 27.08-02-27, ZONED R3C
 RESERVOIR ROAD, VA. SEC. RTE. #648
 HOLLINS MAGISTERIAL DISTRICT, ROANOKE COUNTY, VA
 PERFORMED BY
LUMSDEN ASSOCIATES, P.C.
 ENGINEERS - SURVEYORS - PLANNERS
 ROANOKE, VIRGINIA
 4664 BRAMBLETON AVE., S.W.
 P.O. BOX 20669
 ROANOKE, VIRGINIA 24018
 TELE. (540) 774-4411, FAX (540) 772-9445
 DATE: JULY 9, 2002 COMM NO. 02-185