

SITE STATISTICS:

Tax Number: 077.20-02-15.00
Parcel Total Area: 25,015 SF (0.574 Acre)
Zoning: C-2
Proposed use: Bank

Minimum Requirements:
Setbacks: Front = 30' (20' all parking behind bldg line)
Side = None
Rear = 15'

Maximum Building Height: Unlimited
Proposed Height: 30'

Maximum Coverage: 1. Building = 50% of Total Lot Area Proposed: 9%
2. Lot = 90% of Total Lot Area Proposed: 70%

Parking Spaces: 3.5 spaces per 1,000 SF + Stacking Spaces
Bldg = 2,208 sf x 3.5 spaces / 1,000 sf = 8 spaces
Stacking: 8 spaces for 1st Window + 2 spaces for each additional Window
14 stacking spaces required
8 spaces required + 14 stacking = 22 spaces required Provided: 24 Spaces
1 handicap space required Provided: 1 Handicap Space
1 loading space required

Water: Public
Sewer: Public

QUANTITY + COST ESTIMATE

ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE
DEMOLITION	1	LS	10,000	10,000	
18-IN ROP	70	LF	40	2,800	
CURB DROP INLET DI-3B	2	EA	500	1,000	
CURB & GUTTER CG-6	260	LF	24	6,240	
CURB CG-2	500	LF	12	6,000	
CONCRETE SIDEWALK	35	SY	34	1,190	
ASPHALT PAVEMENT	1650	SY	34	56,100	
WATER LATERAL, 3/4" COPPER	1	LS	500	500	
SEWER LATERAL, 6" SDR-35	1	LS	1,000	1,000	
SAMPLING MANHOLE	1	EA	1,500	1,500	
SMALL DECIDUOUS TREE	11	EA	75	825	
SHRUB	105	EA	20	2,100	
AS-BUILT PLANS	1	LS	1,500	1,500	
SUBTOTAL				90,755	
10% CONTINGENCY				9,076	
ESTIMATED TOTAL				99,831	

I HEREBY CERTIFY THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.

SIGNED: *Woody B. Nantz* DATE: 2-5-07

GENERAL SITE NOTES

- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- All exterior lighting fixtures shall be designed, located and arranged so as not to direct glare on adjoining streets or residential properties. The intensity at adjoining streets or residential properties shall not exceed 0.5 foot candles.
- Proposed signage shall be permitted separately in accordance with the County of Roanoke regulations.



GENERAL NOTES

All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County and/or the Virginia Department of Transportation.

The contractor or developer is required to notify the Roanoke County Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- A. Installation of approved erosion control devices
- B. Clearing and grubbing
- C. Subgrade excavation
- D. Installing storm sewers or culverts
- E. Setting curb and gutter forms
- F. Placing curb and gutter
- G. Placing other concrete
- H. Placing gravel base
- I. Placing any roadway surface
- J. Installing water lines
- K. Installing sanitary sewer lines

A pre-construction conference should be scheduled with the Roanoke County Engineering Division, to be held at least one (1) day prior to any construction.

Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.

A permit must be obtained from the V.D.O.T. Residency Office, Roanoke County, prior to construction in the highway right-of-way.

Plan approval does not guarantee issuance of any permits by V.D.O.T.

An approved set of plans and all permits must be available at the construction site.

Field construction shall honor proposed drainage divides as shown on plans.

All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

Pavement sections on approved plans are based on a minimum CBR of 10. CBR tests are to be performed by the engineer and submitted to V.D.O.T. and to the Roanoke County Engineering Division prior to placement. CBR values < 10 will require revised pavement sections.

All springs shall be capped and piped to the nearest storm sewer or natural watercourse. The pipe shall be 6 inch minimum diameter and conform to V.D.O.T. Standard SB-1.

Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.

Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.

The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.

The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.

Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.

The developer or contractor shall supply the county with correct As-Built plans before final acceptance.

All work shall be subject to inspection by Roanoke County and/or V.D.O.T. inspectors.

Field corrections shall be approved by the Roanoke County Engineering Division prior to such construction.

100 year floodway and floodplain information shall be shown where applicable.

Grade stakes shall be set for all curb and gutter, culver, sanitary sewer and storm sewer.

SHEET INDEX

- C01 COVER SHEET
- C02 EXISTING CONDITIONS & DEMOLITION PLAN
- C03 SITE DIMENSIONAL & UTILITY PLAN
- C04 GRADING AND EROSION SEDIMENT CONTROL PLAN
- C05 TURN LANE PROFILE & CROSS-SECTIONS
- C06 EROSION SEDIMENT CONTROL NOTES & DETAILS
- C07 GENERAL DETAILS
- L01 LANDSCAPE PLAN AND DETAILS

SEWER NOTES

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown or may not be shown in the exact location. The contractor shall comply with State Water Works Regulations, Section 12.05.03, where lines cross.

House connections are to be made with 4" pipe installed at a minimum grade of 1/4 inch to 1 foot in R/W.

Laterals from manholes shall be PVC or Ductile Iron of sufficient length to provide two (2) feet of bearing on natural ground. The transition from ductile iron to asbestos cement or concrete pipe shall be made with an adapter coupling in R/W.

All trenches in existing or future rights-of-way shall be compacted according to V.D.O.T. standards.

Lines shall be staked prior to construction.

WATER NOTES

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown or may not be shown in the exact location. The contractor shall comply with the State Water Works Regulations, Section 12.05.03, where lines cross.

All trenches in existing or future highway right-of-ways shall be compacted according to V.D.O.T. standards.

Lines shall be staked prior to construction.

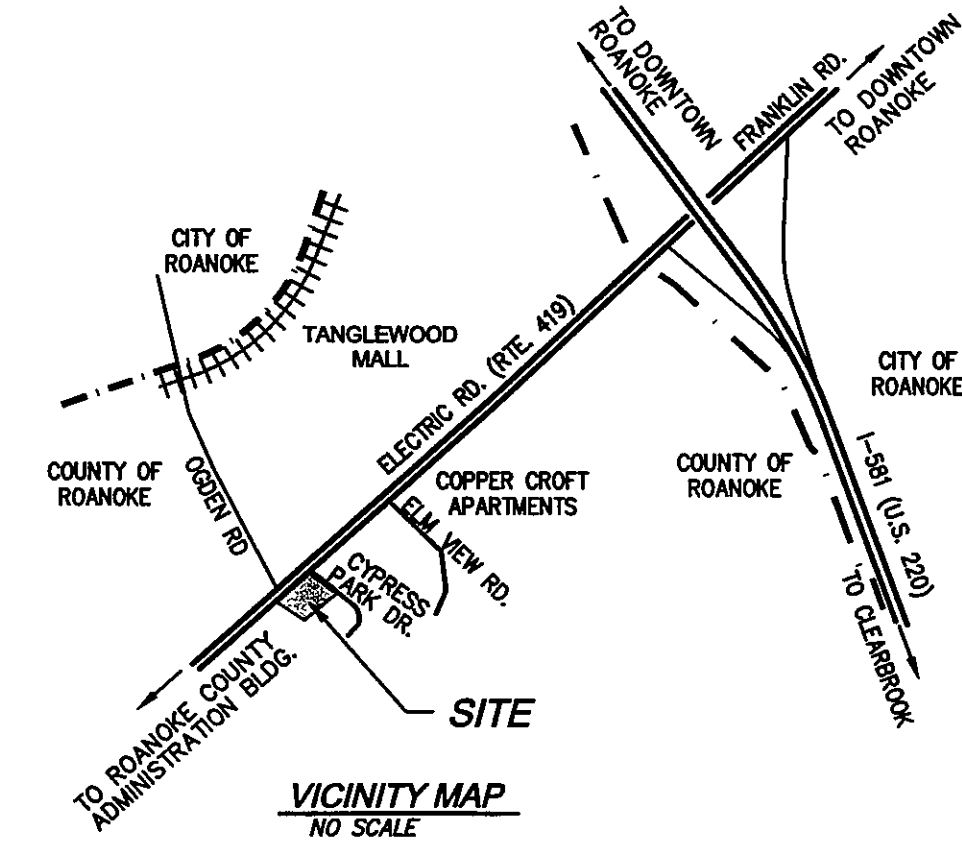
Water main shall be minimum Class 52 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

Availability number _____

LEGEND

Property Line	---
Right-of-way	--- R/W ---
Centerline	--- C ---
Minimum Building Line	--- M.B.L. ---
Existing Storm Sewer	--- 18" CMP --- 18" S.D. ---
Existing Sanitary Sewer	--- 8" SS. ---
Existing Water Main	--- W --- W --- W --- W ---
Existing Contour	--- 1045 ---
Proposed Contour	--- 1050 ---
Proposed Limits of Clearing	--- LHM --- LHM ---
Proposed Storm Sewer	--- 24" S.D. ---
Proposed Sanitary Sewer	--- SAN --- SAN --- SAN ---
Proposed Water Line	--- W --- W --- W --- W ---

HYDRANT VALVE BLOWOFF



SURVEY INFORMATION

Horizontal and vertical control surveys were performed in 2006 by PARKER DESIGN GROUP

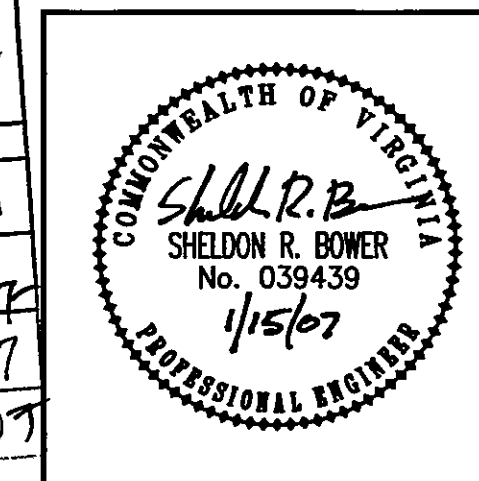
All elevations shown on this plan are based upon an assumed datum.

Source of topographic mapping is PARKER DESIGN GROUP dated MAY 2006

Boundary was performed by PARKER DESIGN GROUP dated MAY 2006

The professional seal and signature below certifies the boundary survey and topographic mapping to be accurate and correct.

DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY	
Department	Date
Development Review	OK 4/11/07
Engineering	CRB 4/10/07
Water & Sewer	RJB 4/10/07
Planning & Zoning	HW 4/11/07



PROFESSIONAL ENGINEER
SEAL AND SIGNATURE

COUNTY OF ROANOKE

COMPREHENSIVE SITE PLAN
PREPARED FOR FNB - SALEM BANK & TRUST

CAVE SPRING MAGISTERIAL DISTRICT
August 10, 2006
Latest Revision: January 15, 2007

I, *MAN* OWNER/DEVELOPER, AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND OTHER APPLICABLE COUNTY CODES. I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS, UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.

OWNER/DEVELOPER: *FIRST NATIONAL BANK*
FNB - SALEM BANK & TRUST
PROPERTY ADDRESS: 4203 ELECTRIC ROAD
ROANOKE, VA 24018
BILLING ADDRESS: CORP ACCOUNTING P.O. BOX 600
CHRISTIANSBURG, VA 24068

ARCHITECT: INTERACTIVE DESIGN GROUP
119 NORFOLK AVENUE, SUITE 330
ROANOKE, VA 24011
PHONE: (540) 342-7534
FAX: (540) 342-7536

ENGINEER/SURVEYOR: PARKER DESIGN GROUP
816 BOULEVARD
SALEM, VA 24153
PHONE: (540) 387-1153
FAX: (540) 389-5767

TAX MAP NO(S) 077.20 BLOCK NO(S) 02 PARCEL NO(S) 15.00