

KEYNOTES:

- BACKFILL FOR UTILITY TRENCHING IN THE RIGHT OF WAY SHALL BE VDOT 21A PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR $\pm 20\%$ OPTIMUM MOISTURE CONTENT. AS AN ALTERNATIVE, VDOT SPECIFIED FLOWABLE FILL WITH STRENGTH OF BETWEEN 30 AND 300 psi AT 28 DAYS MAY BE USED. SEE CUTTING AND PAVEMENT REPLACEMENT DETAIL ON SHEET 4.
- DEMOLISH EXISTING BARBED WIRE FENCE AND REPLACE WITH 4' HIGH CHAIN LINK FENCE.
- ALL SAW CUTS TO PAVEMENT IN THE RIGHT-OF-WAY SHALL BE NEAT UNIFORM LINES PRIOR TO EXCAVATION. AFTER UTILITY INSTALLATION AND TRENCH BACKFILL, THE PAVEMENT EDGES SHALL BE RECUT IN STRAIGHT, UNIFORM LINES TO 12" BEYOND ANY UNDERMINED AREA. THE SHAPE OF THE REPAIR SHALL BE RECTANGULAR.

GENERAL NOTES:

- THE LOCATION OF EXISTING UTILITIES, INCLUDING UNDERGROUND UTILITIES, IS INDICATED ON THE DRAWINGS INsofar AS THEIR EXISTENCE AND LOCATION WERE KNOWN AT THE TIME OF THE PREPARATION OF THE DRAWINGS. HOWEVER, NOTHING IN THESE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS A GUARANTEE THAT SUCH UTILITIES ARE IN THE LOCATION INDICATED OR THAT THEY ACTUALLY EXIST, OR THAT OTHER UTILITIES ARE NOT WITHIN THE AREA OF OPERATIONS. THE CONTRACTOR SHALL MAKE ALL NECESSARY INVESTIGATIONS TO DETERMINE THE EXISTENCE AND LOCATIONS OF SUCH UTILITIES. THE CONTRACTOR SHALL PAY FOR ANY DAMAGE TO AND FOR ANY MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001) 48 HOURS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
- CONTRACTOR TO CONTACT THE CITY OF ROANOKE-UTILITY LINE SERVICE (853-2792) TO COORDINATE THE CONNECTION TO THE EXISTING SEWER MAIN.
- ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED, VERIFIED, AND INSPECTED BY THE CITY OF ROANOKE.
- STORM DRAIN SHOWN HEREON FOR INFORMATION ONLY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- EXISTING TOPOGRAPHIC INFORMATION IS TAKEN FROM CITY OF ROANOKE MAPPING AND FIELD SURVEYS PERFORMED BY MATTERN & CRAIG, INC. FEBRUARY AND NOVEMBER, 2003.
- A STREET OPENING PERMIT, ISSUED BY THE CITY OF ROANOKE, WILL BE REQUIRED.

SITE TABULATIONS

TOTAL SITE AREA = 0.652 ACRES
ACTUAL BUILDING AREA (TWO STRUCTURES) = 2,640 S.F.
SITE ADDRESSES: 729 & 333 FAIRVIEW AVENUE, N.W.
TAX# 2740304
INS# 17142102

ZONING: RM-2, RESIDENTIAL MULTI FAMILY DISTRICT
LOT COVERAGE: MAX = 40%, ACTUAL = 9.3%
MINIMUM LOT SIZE = 5,000 SQUARE FEET
MINIMUM LOT FRONTAGE = 50'
ADJACENT ZONING: RM-2
ADJACENT LAND USE: RESIDENTIAL
CURRENT LAND USE: VACANT
PROPOSED LAND USE: RESIDENTIAL

YARD REQUIREMENTS: (SHOWN ON PLAN)

-FRONT	30'
-SIDE	10'
-REAR	25'

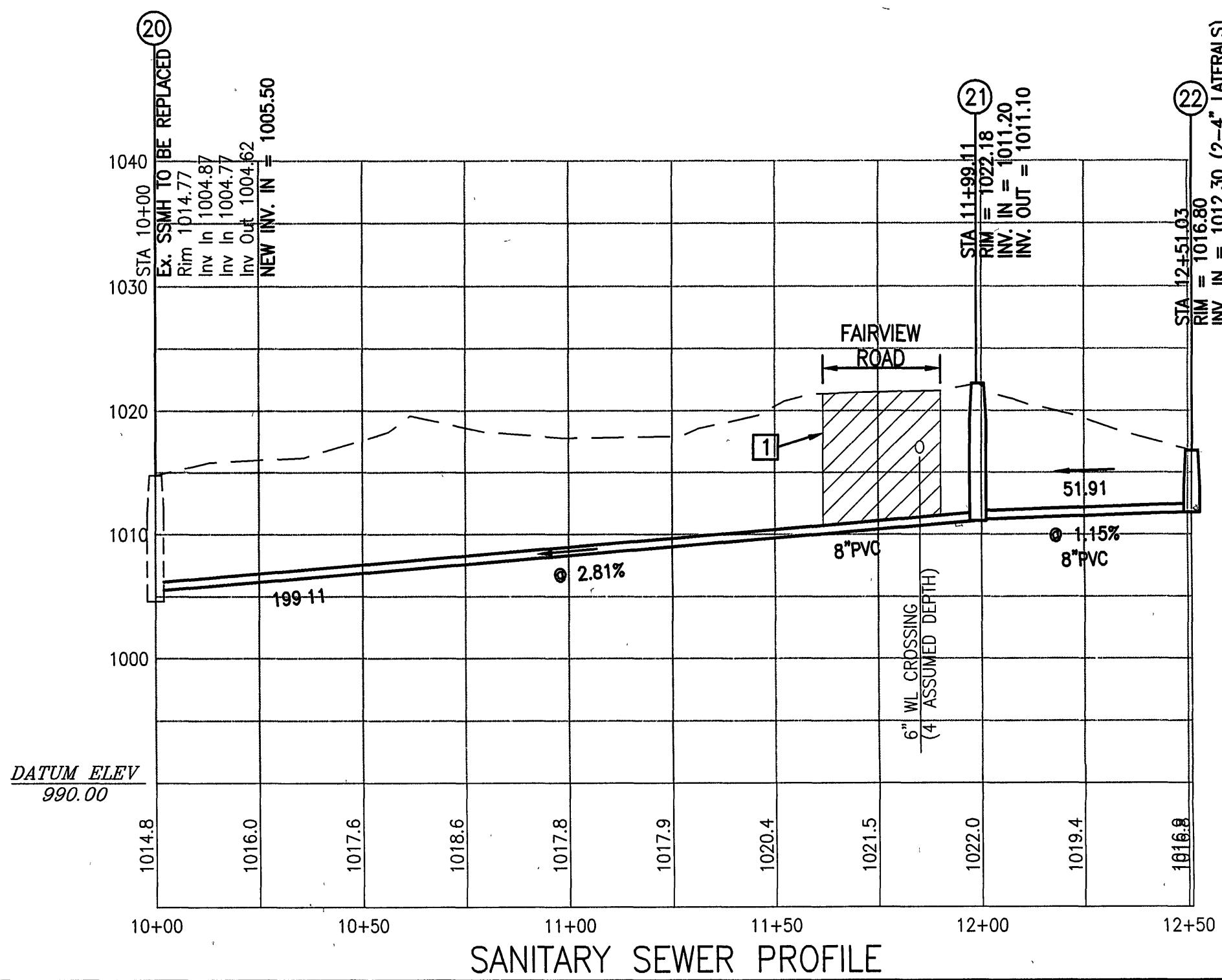
LEGEND

- | | |
|--|--|
| | NEW CONCRETE
SEE DETAIL ON SHEET 4 |
| | DEMOLISH PAVEMENT
SEE DETAIL ON SHEET 4 |
| | NEW DRIVEWAY |
| | NEW 5' RIGHT OF WAY DEDICATION |
| | |

SANITARY SEWER MAHOLE COORDINATES

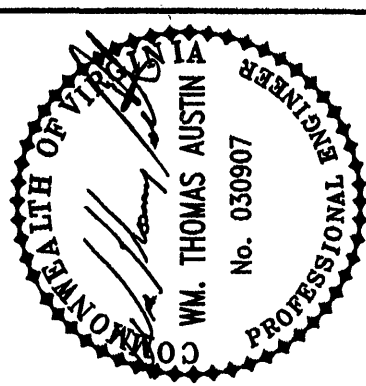
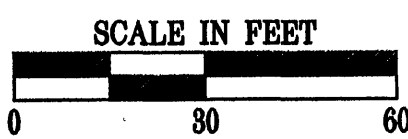
SSMH	NORTHING	EASTING
20	3631988.22	11045879.78
21	3631930.26	11046070.28
22	3631878.95	11046062.34

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.00	N08°48'03"E
L2	53.00	N08°48'03"E
L3	68.41	N75°51'57"W



CONTACT INFORMATION:

KAREN MASON, EXECUTIVE DIRECTOR
HABITAT FOR HUMANITY OF THE ROANOKE VALLEY
1701 CLEVELAND AVENUE
ROANOKE, VIRGINIA 24016
(540) 344-0747
FAX: (540) 343-1492



Revisions	Date
1 CITY OF ROANOKE COMMENTS	12-3-03
2 CITY OF ROANOKE COMMENTS	12-31-03

Issue Date:	November 6, 2003
Drawn By:	CLZ
Designed By:	CLZ
Checked By:	WTA
Date:	

Mattern & Craig
CONSULTING ENGINEERS • SURVEYORS

701 FIRST STREET, S.W.
ROANOKE, VIRGINIA 24016
(540) 345-9342
FAX (540) 345-7691

HABITAT FOR HUMANITY FAIRVIEW ROAD SITE PLAN AND SANITARY SEWER PROFILE CITY OF ROANOKE, VIRGINIA

Vertical Scale:
1" = 10'

Horizontal Scale:
1" = 30'

Commission Number:
1567-D4

Sheet No.:

1

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