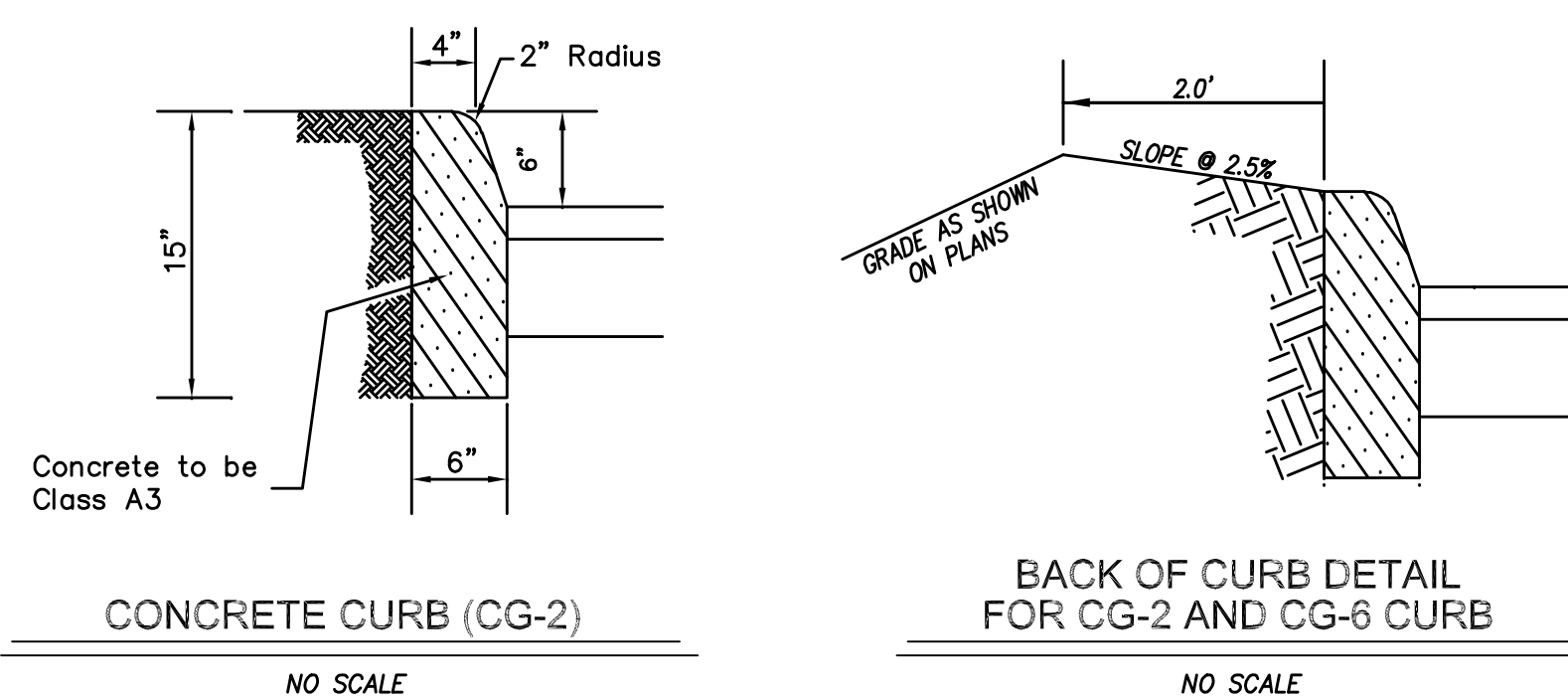
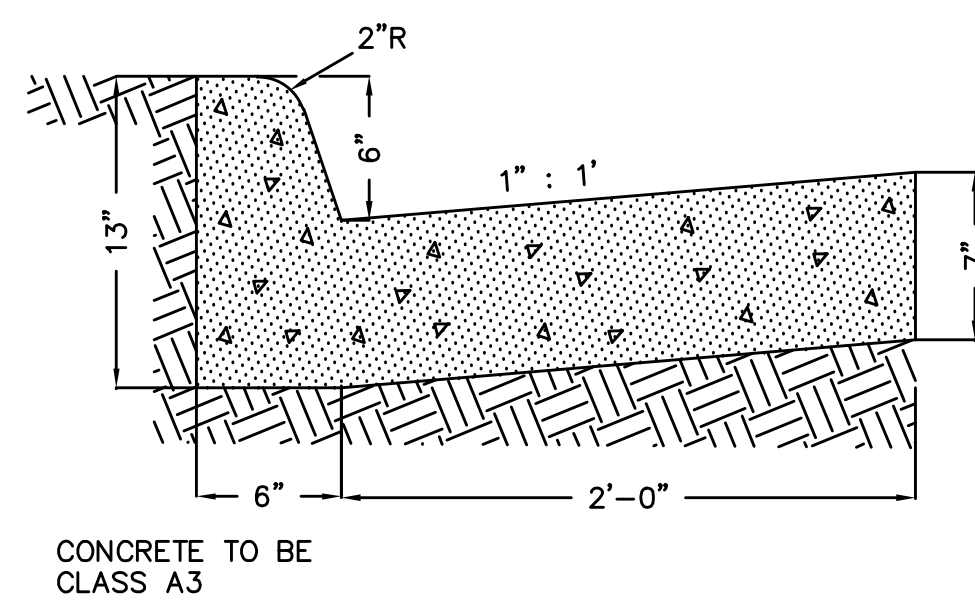
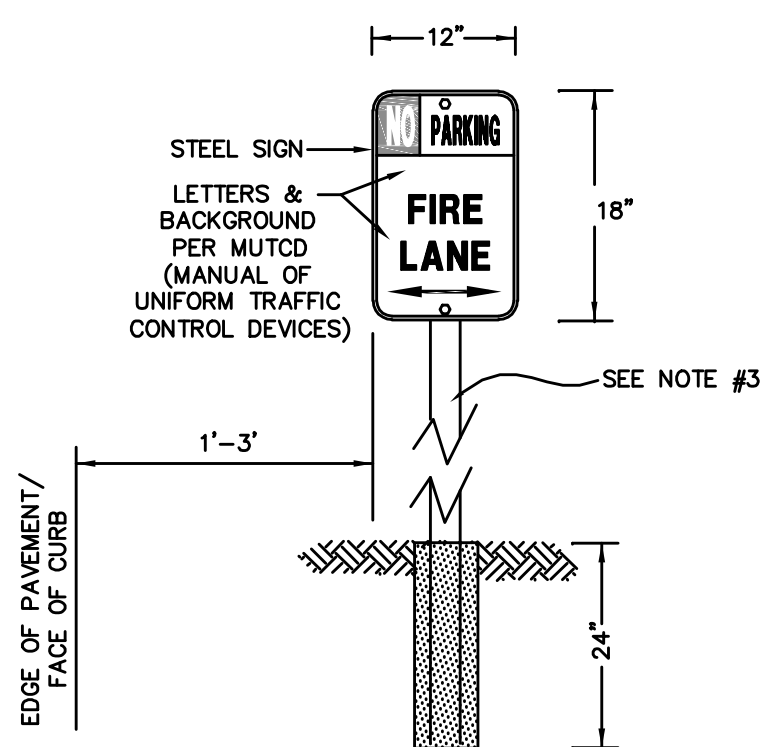


NOTE: THIS PLAN INCLUDES INSTALLATIONS OF THE CG-12 WITH MODIFIED DIMENSIONS TO INCREASE THE OVERALL EXPANSE OF THE RAMP. THIS DETAIL REPRESENTS THE MINIMUM ACCEPTABLE DIMENSIONS.

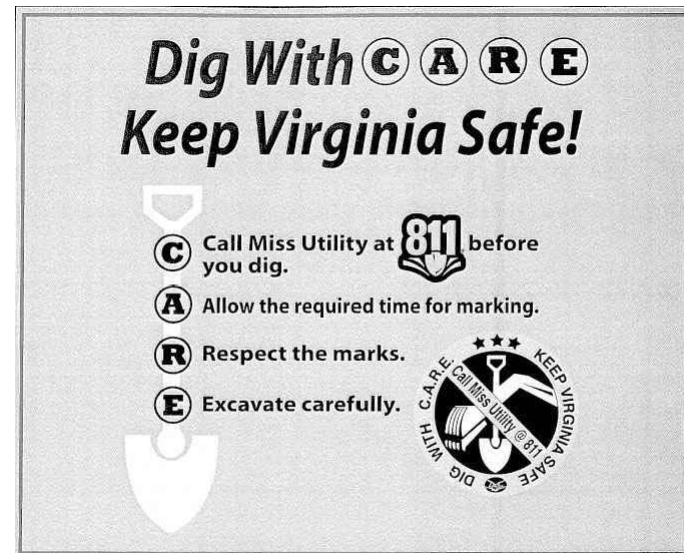


SEE VDOT ROAD AND BRIDGE STANDARDS FOR ADDITIONAL NOTES AND DETAILS FOR CG-2 AND CG-6



NOTES:

1. MOUNTING HEIGHT SHALL BE MINIMUM OF 7' FROM BOTTOM OF SIGN TO NEAR EDGE OF PAVEMENT OR TOP OF NEAR CURB.
2. LOCATE SIGNS AT EACH END OF FIRE LANE AND EVENLY SPACED BETWEEN AT NO MORE THAN 100' O.C. ARROW SHALL BE AS APPROPRIATE TO SIGN LOCATION.
3. POST SHALL BE 1/2" B&B STEEL, ELEVEN FEET (11') IN LENGTH WITH THREE/EIGHTS INCH (3/8") HOLES DRILLED ONE HALF LENGTH OF POST (OR FIVE FEET AND SIX INCHES - 56"). FINISH SHALL BE BLACK ALKALOID AND RESIN GLOSS BAKED ON ENAMEL. CONTRACTOR SHALL VERIFY WITH LOCALITY.



ABBREVIATIONS

R/W	RIGHT OF WAY
HDOP	HANDICAP
VAR.	VARIABLE
EXIST.	EXISTING
EX.	EXISTING
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
INST. #	INSTRUMENT NUMBER
TYP.	TYPICAL
ROP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
R.L.	ROOF LEADER
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
W	WATER LINE
SP	SPOT ELEVATION
TC	TOP OF CURB
EP	EDGE OF PAVEMENT
BW	BOTTOM OF WALL
TW	TOP OF WALL
CO	SANITARY SEWER CLEANOUT
TBR	TO BE REMOVED

LEGEND

ITEM	EXISTING	PROPOSED
PAVEMENT (STANDARD)		
PAVEMENT (HEAVY-DUTY)		
CONCRETE		
CONCRETE CURB (CG-2)		
CONCRETE CURB & GUTTER (CG-6)		
STORM DRAIN LINE	EX SD	SD
STORM DRAIN MANHOLE	⊙	⊙
SANITARY SEWER LINE	SS	SS
WATERLINE	W	W
UTILITY POLE	U	U
OVERHEAD ELECTRIC LINE	OHE	OHE
OVERHEAD TELEPHONE LINE	OHT	OHT
INDEX CONTOURS	-1020-	-1020-
INTERMEDIATE CONTOURS	-1018-	-1018-
UNDERGROUND GAS	GAS	GAS
OVERHEAD ELECTRIC	OHE	OHE
SPOT ELEVATION	+1021.5	SP=1021.5

SITE AND ZONING TABULATIONS

TAX PARCEL NUMBERS: 77.19-01-21, 77.19-01-22, 77.19-01-23, 77.19-01-24
NOTE: PARCELS ARE TO BE COMBINED IN CONJUNCTION WITH THIS PLAN
ZONING DISTRICT: C-2 - HIGH INTENSITY COMMERCIAL
OVERLAY DISTRICT: 419 TOWN CENTER PLAN
PROPOSED USE: GENERAL OFFICE AND UPPER FLOOR RESIDENTIAL
RESIDENTIAL FLOORS TWO AND THREE INCLUDE 8 DWELLING UNITS EACH. THE SECOND-FLOOR UNITS WILL BE INCLUDED IN INITIAL CONSTRUCTION, THE THIRD-FLOOR UNITS WILL BE COMPLETED AT A FUTURE DATE.

SITE ACREAGE: 1.09 ACRES (47,643 SF)
PROJECT AREA: 1.08 ACRES (46,839 SF)
YARD REQUIREMENTS:
FRONT: 30' MINIMUM OR 20' WITH ALL PARKING BEHIND FRONT BUILDING LINE
SIDE: NONE
REAR: 15' FOR PRINCIPLE STRUCTURES, 3' FOR ACCESSORY STRUCTURES
MAXIMUM HEIGHT: UNLIMITED EXCEPT WHERE ADJOINING PROPERTY IS ZONED R-1 OR R-2, WHERE MAXIMUM HEIGHT IS 45' INCLUDING ROOFTOP MECHANICAL EQUIPMENT. THE MAXIMUM HEIGHT MAY BE INCREASED ABOVE 45', PROVIDED EACH REQUIRED SIDE AND REAR YARD ADJOINING THE R-1 OR R-2 DISTRICT IS INCREASED TWO FEET FOR EACH ONE FOOT IN HEIGHT OVER 45'.
PROPOSED BUILDING HEIGHT: APPROXIMATELY 45'
MAXIMUM BUILDING COVERAGE: 50% OF TOTAL LOT AREA
PROPOSED BUILDING COVERAGE: 17.4%
MAXIMUM LOT COVERAGE: 90% OF TOTAL LOT AREA
PROPOSED LOT COVERAGE: 60.6%
MINIMUM REQUIRED PARKING:
GROSS FLOOR AREA = 8,265 SF X TWO STORIES = 16,530 SF
NET FLOOR AREA = 12,388 SF
GENERAL OFFICE USE AT 3 SPACES PER 1,000 SQ.FT.: 12.40 X 3 = 37 SPACES
TOTAL REQUIRED PARKING: 37 SPACES
PARKING SPACES PROVIDED: 50 SPACES, INCLUDING 2 ACCESSIBLE SPACES
MINIMUM TREE CANOPY: 35% OF TOTAL LOT AREA (REFER TO LANDSCAPE PLAN FOR MORE INFORMATION)

GENERAL NOTES

1. OWNER/DEVELOPER: BOONE HOMES OF RICHMOND
129 BROAD STREET, SUITE B
MANASSAS-SABOT, VA 23103
2. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2020.
3. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2020.
4. NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT, AND ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
5. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PUBLIC STREETS.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
7. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE MAXIMUM LIGHTING DENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. NEW EXTERIOR LIGHTING IS SHOWN ON THIS PLAN. INSTALLATION LOCATIONS OF BUILDING-MOUNTED FIXTURES AND LIGHTING STANDARDS IN THE PARKING LOT SHALL BE CONFIRMED AND COORDINATED WITH THE ARCHITECTURAL PLANS, WHICH SHALL TAKE PRECEDENCE OVER THIS PLAN.
8. ANY EXTERIOR SIGN WILL REQUIRE A SEPARATE SIGN PERMIT. NO NEW EXTERIOR SIGNS ARE PROPOSED WITH THIS PLAN.
9. ALL REFUSE DUMPSTERS AND/OR CONTAINERS SHALL BE SCREENED FROM SURROUNDING VIEWS PURSUANT TO THE REQUIREMENTS OF SECTION 30-92-6(F)(1). PROPOSED DUMPSTER SHALL BE SCREENED AS SHOWN ON THIS PLAN.
10. MECHANICAL EQUIPMENT LOCATED ON THE GROUND OR MOUNTED ON A ROOF SHALL BE SCREENED PURSUANT TO THE REQUIREMENTS OF SECTION 30-92-6(F)(2). PROPOSED MECHANICAL EQUIPMENT, IF INCLUDED ON ARCHITECTURAL PLANS, SHALL BE SCREENED AS SHOWN ON THIS PLAN.
11. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
12. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 51161C0251G, DATED SEPTEMBER 28, 2007. ZONE "X".
13. THIS PLAT DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITY. STORM DRAIN STRUCTURES, SANITARY SEWER MANHOLES, AND OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE ESTABLISHED USING ABOVE GROUND STRUCTURES, MISS UTILITY MARKINGS AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.

CONSTRUCTION NOTES

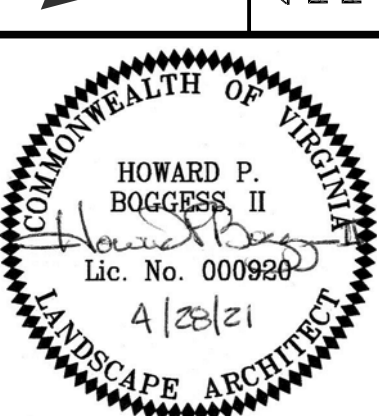
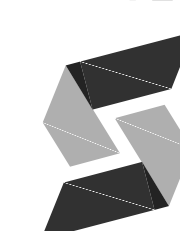
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF THE VDOT ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS AND THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
4. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
5. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE, DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
6. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES OR EROSION & SEDIMENT CONTROL MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER AND APPROVED BY THE CITY OF ROANOKE.
7. ALL NECESSARY UTILITY LATERAL CONDUITS (I.E. WATER, SEWER, STORM DRAIN, GAS, ELECTRIC, COMMUNICATIONS) SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF BASE MATERIAL.

GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE. A SEPARATE E & S PLAN MAY BE REQUIRED FOR OFFSITE STOCKPILES.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SOIL STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

1. NEW DOMESTIC WATER SERVICE IS PROPOSED WITH THIS PROJECT UTILIZING A SINGLE COMMERCIAL WATER METER. A FIRE SPRINKLER SYSTEM IS PROPOSED FOR THIS BUILDING.
2. A NEW SANITARY SEWER LATERAL AND EXTENSION OF AN 8" MAIN WILL BE REQUIRED FOR THE FACILITY. THE NEW MAIN SHALL BE INSTALLED BY DIRECTIONAL DRILLING.
3. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY (WVWA).
4. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. CONTACT MARK SINK AT (540) 537-3460.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY AND ROANOKE CITY INSPECTORS.
6. THE DEVELOPER OR CONTRACTOR SHALL SUPPLY THE CITY, AND THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS BEFORE TENTATIVE ACCEPTANCE.
7. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
8. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER AND SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WVWA STANDARDS SHALL BE ENFORCED.
9. ANY EXISTING APPURTENANCES SHALL BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. REVIEW OF THIS PLAN DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.



NOTES AND DETAILS

FALLOWATER SQUARE OFFICE BUILDING

PREPARED FOR
ABRE Holdings, Inc.
SITUATED ALONG FALLOWATER LANE, SW
ROANOKE COUNTY, VIRGINIA

REVISIONS		DESCRIPTION	DATE	NO.
				1
				2
				3
				4
				5
DATE:		April 28, 2021		
SCALE:		NO SCALE		
COMMISSION NO.:		20-339		
SHEET		2 OF 13		