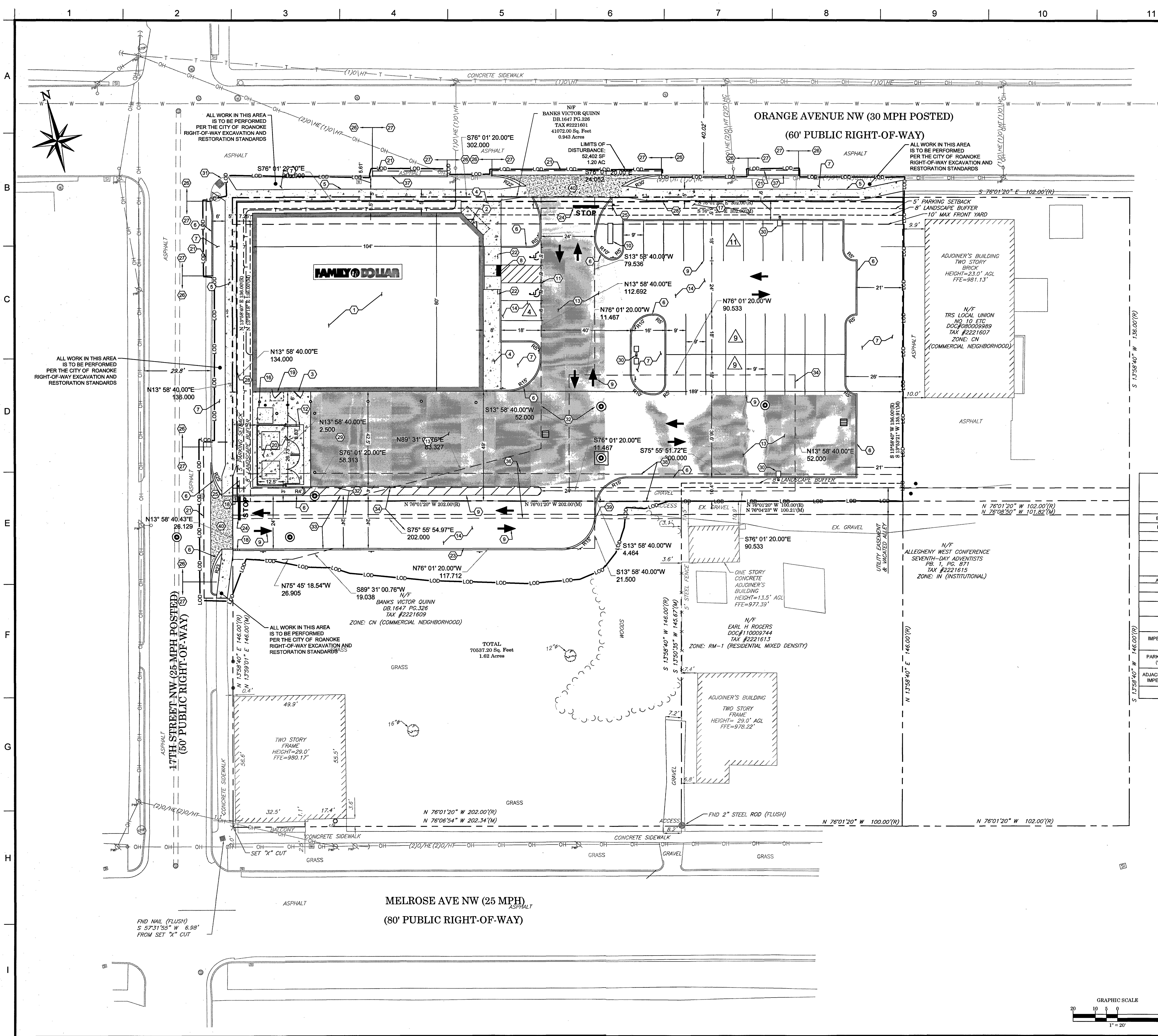




GENERAL SITE NOTES:

- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE (SEE LANDSCAPE PLAN).
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ALL WORK IN THE ORANGE AVENUE AND 17TH STREET RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL PER MUTCD STANDARDS THROUGHOUT THE LIFE OF THE PROJECT.
- NO HISTORIC RESOURCES OR STRUCTURES INCLUDED ON THE NATIONAL REGISTER OF HISTORIC PLACES ARE KNOWN TO EXIST ON THIS LOT.
- ANY DAMAGE TO THE EXISTING CURB AS A RESULT OF THIS DEVELOPMENT MUST BE REPLACED AS NECESSARY.
- THE SIGHT DISTANCE AT THE PROPOSED ENTRANCE ON ORANGE AVENUE NW AND 17TH STREET NW CONFORMS TO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCE. SEE SIGHT DISTANCE PLAN.
- THE PROPOSED BUILDING WILL BE NON-SPRINKLERED.

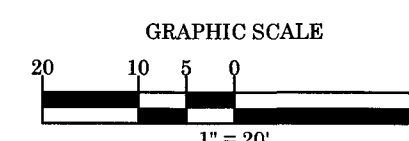
SITE PLAN KEY NOTES:

- PROP. 8,320 SF FAMILY DOLLAR BUILDING.
- PROP. MAIN ENTRANCE WITH CANOPY.
- PROP. EGRESS DOOR.
- PROP. 8\"/>

ZONING DATA		
ZONED CN - COMMERCIAL NEIGHBORHOOD		
ITEM	REQUIRED	PROPOSED
BUILDING HEIGHT (FT)	45 FT MAX.	19.5 FT
BUILDING FOOTPRINT	15,000 SF	8,320 SF
FRONT YARD (FT)	0' MIN. / 10 FT MAX.	5 FT
CORNER	0' MIN. / 10 FT MAX.	9 FT 6 IN
PARKING SPACES	1 SPACE / 250 SF RETAIL AREA 8,247 SF RETAIL / 250 = 33 SPACES MIN. MAX. = 150% OF MIN. = 50 SPACES MAX.	33 SPACES
ADA PARKING SPACES	2 SPACES (1 VAN ACCESSIBLE)	2 SPACES (VAN ACCESSIBLE)
LOADING SPACES	1 SPACE	1 SPACE
FAR	5.0 MAX.	0.2
LOT AREA	5,000 SF MIN. 87,120 SF MAX.	41,072 SF
LOT FRONTAGE	0 FT MIN. 200 FT MAX.	302 FT
IMPERVIOUS SURFACE AREA (% OF LOT AREA)	100%	89%
PARKING AREA TREE CANOPY (% OF PARKING AREA)	20%	20%
ADJACENT PARCEL TAX # 2221609 IMPERVIOUS SURFACE RATIO	100%	21.46%
USE	RETAIL SALES ESTABLISHMENT	RETAIL SALES ESTABLISHMENT

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED REGULAR DUTY PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PER CG-4D DETAIL
- PROPOSED STANDARD DUTY CONCRETE



CORE STATES GROUP

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811

Know what's below.
Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES LOCATIONS PRIOR TO CONSTRUCTION.

REVISIONS			
REV	DATE	COMMENT	BY
1	06-01-15	PER CITY COMMENTS	MV
2	07-15-15	PER CITY COMMENTS	DP/MV

DOCUMENT
COMPREHENSIVE DEVELOPMENT PLAN
CP150014

PROJECT
FAMILY DOLLAR IN ROANOKE, VA

CLIENT

BOOS DEVELOPMENT GROUP

FAMILY DOLLAR

SITE LOCATION
**1626 ORANGE AVENUE NW
ROANOKE, VA 24017**

ENGINEER SEAL

SHEET TITLE

SITE PLAN

JOB #: FAM-16430
DATE: 04-10-15
SCALE: 1"=20'
DRAWN BY: KF
CHECKED BY: AB
SHEET NO.
C5
OF 24