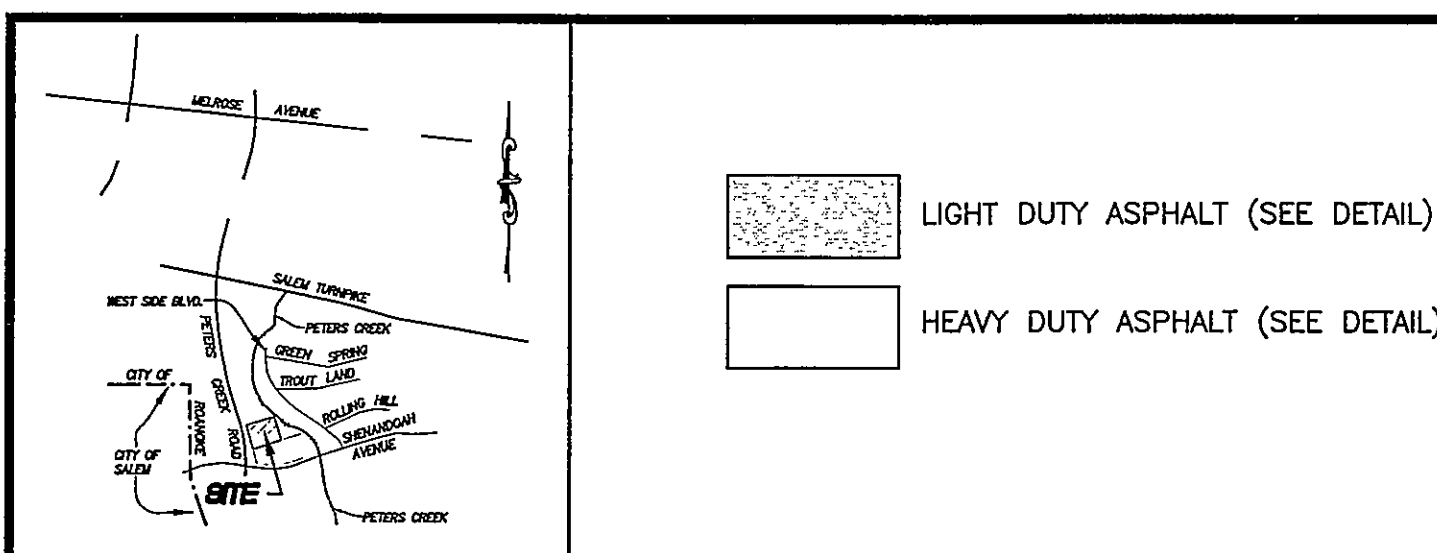
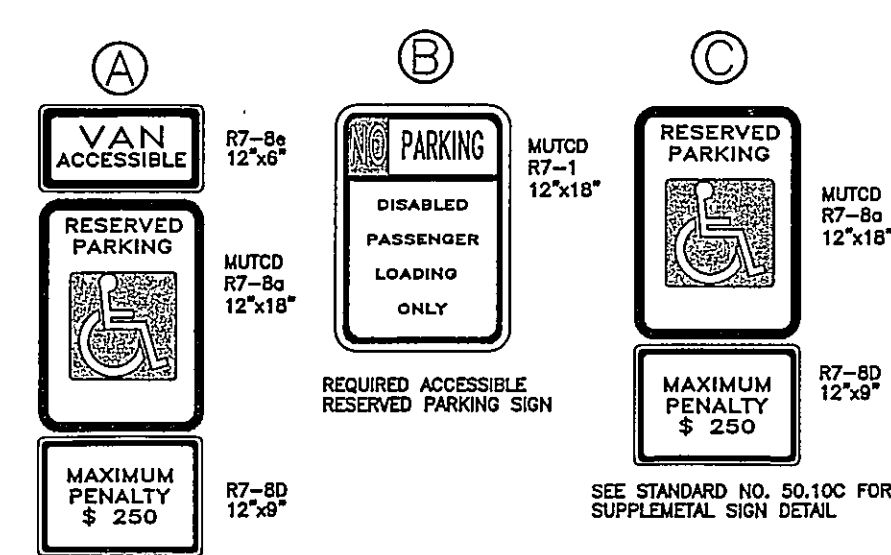
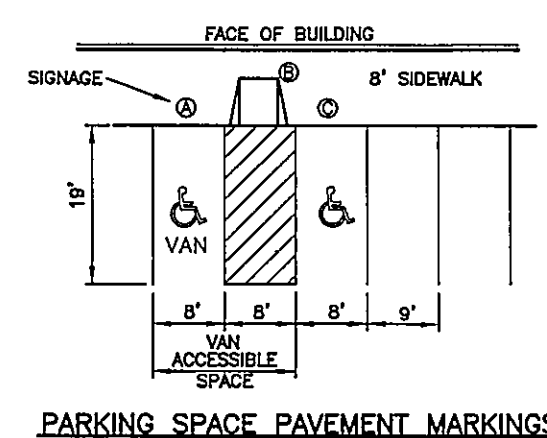


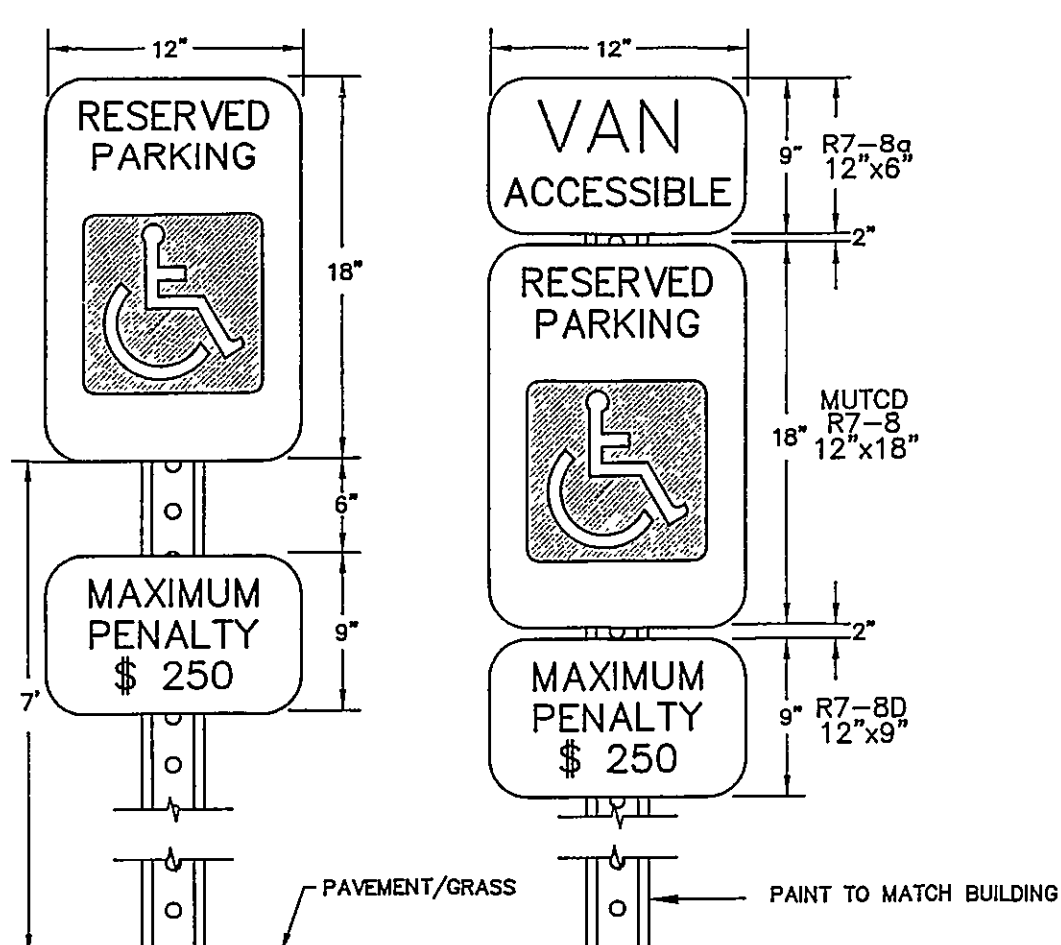
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VICINITY MAP  
NOT TO SCALE



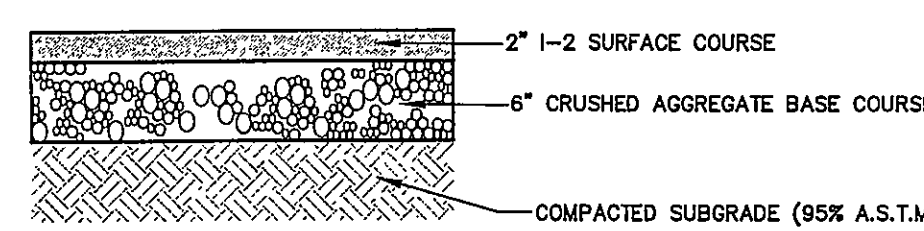
ACCESSIBLE PARKING AND  
SIGNAGE STANDARDS



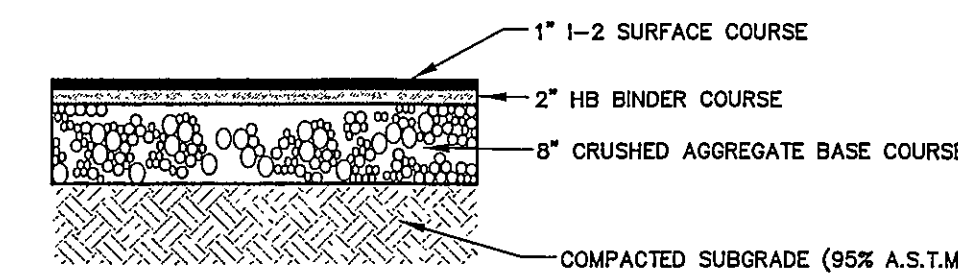
REQUIRED HANDICAPPED  
RESERVED PARKING SIGN  
NOT TO SCALE

ABBREV.	DESCRIPTION
AEP	Appalachian Electric Power
APCO	Appalachian Power Company
DI	Drop Inlet
OU	Overhead Utilities
W	Waterline

LEGEND	
●	Existing Property Monument
○	Sanitary Sewer Manhole
○	Utility Pole
—	Sign
→	Directional Arrow
○	Property Corner



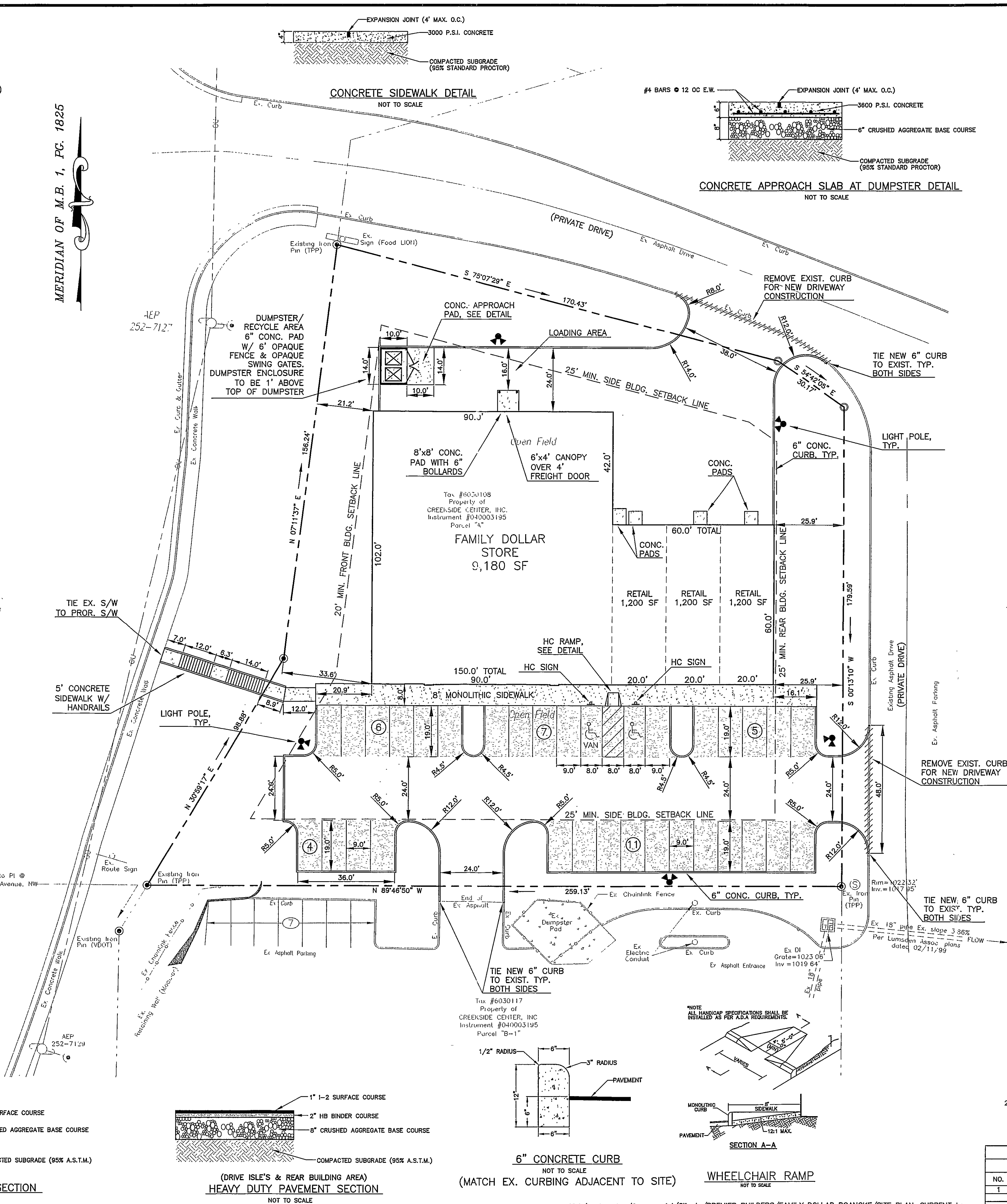
(PARKING STALLS ONLY)  
LIGHT DUTY PAVEMENT SECTION  
NOT TO SCALE



(DRIVE ISLE'S & REAR BUILDING AREA)  
HEAVY DUTY PAVEMENT SECTION  
NOT TO SCALE

MERIDIAN OF M.B. 1, PG. 1825

PETERS CREEK ROAD NW  
(R/W Varies)



SITE SUMMARY

OWNER: JOE STRICKLAND  
PREMIER BUILDERS & DEVELOPMENT  
COMPANY, INC.  
103 S. CENTRAL AVE.  
P.O. BOX 15  
LANDIS, N.C. 28088  
PHONE: (704)857-4800  
FAX: (704)857-4844

TOTAL SITE AREA = 1.054± ACRES (45,906± S.F.)  
EX. IMPERVIOUS AREA.....0.00± SF  
PROP. IMPERVIOUS AREA.....32,408± SF (0.74± AC.)  
TOTAL PERCENT OF IMPERVIOUS SURFACE.....69%

ZONING: CLS (WITH CONDITIONS, SEE BELOW)  
SITE ADDRESS: 631 PETERS CREEK ROAD  
EXISTING LAND USE: VACANT  
PROPOSED LAND USE: FAMILY DOLLAR STORE  
BUILDING HEIGHT: 35' MAXIMUM

TABULATIONS:  
FAMILY DOLLAR STORE AREA: 9,180 SF  
RETAIL UNITS STORE AREA: 3,600 SF  
TOTAL BUILDING AREA: 12,780 SF  
PARKING REQUIRED: (12,780 x 75%) - 4,000 SF =  
5,585 SF/250 = 23 + 2 =  
25 PARKING SPACES  
PARKING PROVIDED: 33 SPACES (INCLUDING 2 HC)

CLS ZONING BUILDING SETBACKS:  
SETBACK FRONT - 20' MIN.  
SIDE SETBACK - 25' MIN.  
REAR SETBACK - 25' MIN.

TAX ID #6030108  
RECORDED AT MAP BOOK 1, PG. 2701-2702

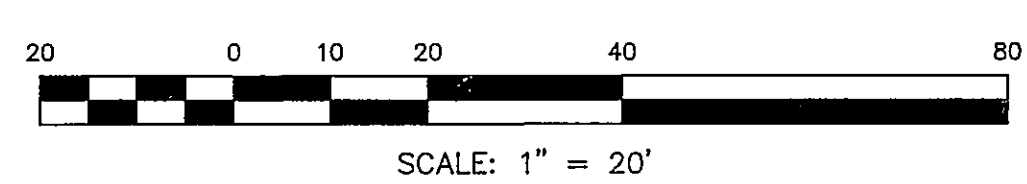
GENERAL SITE NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING, SIDEWALK AND RAMP DIMENSIONS.
- CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ETC... WITH APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER FOR EXISTING BUILDING DEMOLISHING AND ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
- CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH V.D.O.T. AND CITY OF ROANOKE.
- ALL TRAFFIC SIGNS, STRIPE PAINTING ETC... TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- ALL CONSTRUCTION TO CONFORM TO THE CITY OF ROANOKE ORDINANCE MANUAL DETAILS AND SPECIFICATIONS AND VDOT.
- ALL OPEN SPACE TO BE MAINTAINED BY OWNER/DEVELOPERS.
- LIGHTING SHALL COMPLY WITH CITY OF ROANOKE ORDINANCE. LIGHTING SHALL NOT BE DIRECTED TOWARD OR SHINE UPON ANY RESIDENTIAL ZONES OR ENDANGER MOTORISTS TRAVELING ON ANY STREET.
- ALL HANDICAP SPACES, RAMPS, ETC. TO MEET ADA CODES.

CONDITIONAL REZONING ORDINANCE NO. 34095-120798  
DATED DECEMBER 7, 1998 STATES THE FOLLOWING  
CONDITIONS:

- THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE DEVELOPMENT PLAN PREPARED BY LUMSDEN ASSOCIATES, DATED OCTOBER 12, 1998, A COPY OF WHICH IS ATTACHED TO THE PETITION FOR REZONING AS EXHIBIT B (THE PLAN), SUBJECT TO ANY CHANGES REQUIRED BY THE CITY AS PART OF COMPREHENSIVE DEVELOPMENT PLAN REVIEW.
- EXCEPT FOR THE USES ON OUTPARCEL #1 AND OUTPARCEL #2, THE PROPERTY SHALL BE USED AS A FOOD STORE AS PERMITTED BY SECTION 36.1-206(33) OF THE CODE OF THE CITY OF ROANOKE.
- THE FOLLOWING C-2 USES AS DESIGNATED IN THE CODE OF THE CITY OF ROANOKE SHALL NOT BE PERMITTED ON EITHER OF THE TWO OUTPARCELS SHOWN ON THE PLAN.  
36.1-206(35) OUTDOOR ADVERTISING SUBJECT TO THE REQUIREMENTS OF SECTION 36.1-440 at 90q.  
36.1-206(40) AUTOMOBILE REPAIR ESTABLISHMENTS EXCEPT PAINTING AND BODY SHOPS.  
36.1-207(4) ESTABLISHMENTS PRIMARILY IN THE SALES OR RENTAL OF AUTOMOBILES, TRUCKS AND CONSTRUCTION EQUIPMENT INCLUDING THE INCIDENTAL REPAIR AND MAINTENANCE OF VEHICLES WHERE THE LOT AREA IS LESS THAN TWENTY THOUSAND (20,000) SQUARE FEET.  
36.1-207(5) AUTOMOBILE PAINTING AND BODY SHOPS PROVIDED THAT THERE SHALL BE NO OUTSIDE STORAGE OF DAMAGED AUTOMOBILES EQUIPMENT, AUTO PARTS OR OTHER MATERIALS.
- THE EXTERIOR OF THE FOOD STORE SHALL BE BRICK ON THREE SIDES, WITH THE REAR WALL CONSTRUCTED OF SPLIT-FACED BLOCK.
- THERE SHALL BE NO MORE ENTRANCES OR EXITS ONTO PETERS CREEK ROAD THAN THE NUMBER SHOWN ON THE PLAN.

NOTE: ALL CONSTRUCTION, CONSTRUCTION MATERIALS, SPECIFICATIONS & DETAILS SHALL BE IN ACCORDANCE WITH CITY OF ROANOKE, VIRGINIA DCR & VDOT GUIDELINE AND CONSTRUCTION PRACTICES.



ISSUE DATE: JULY 13, 2006		
REVISIONS		
NO.	DATE	DESCRIPTION
1	08/25/06	PER THE CITY OF ROANOKE COMMENTS

FAMILY DOLLAR STORE  
631 PETERS CREEK ROAD  
ROANOKE COUNTY  
ROANOKE, VA.

SITE PLAN

C-1