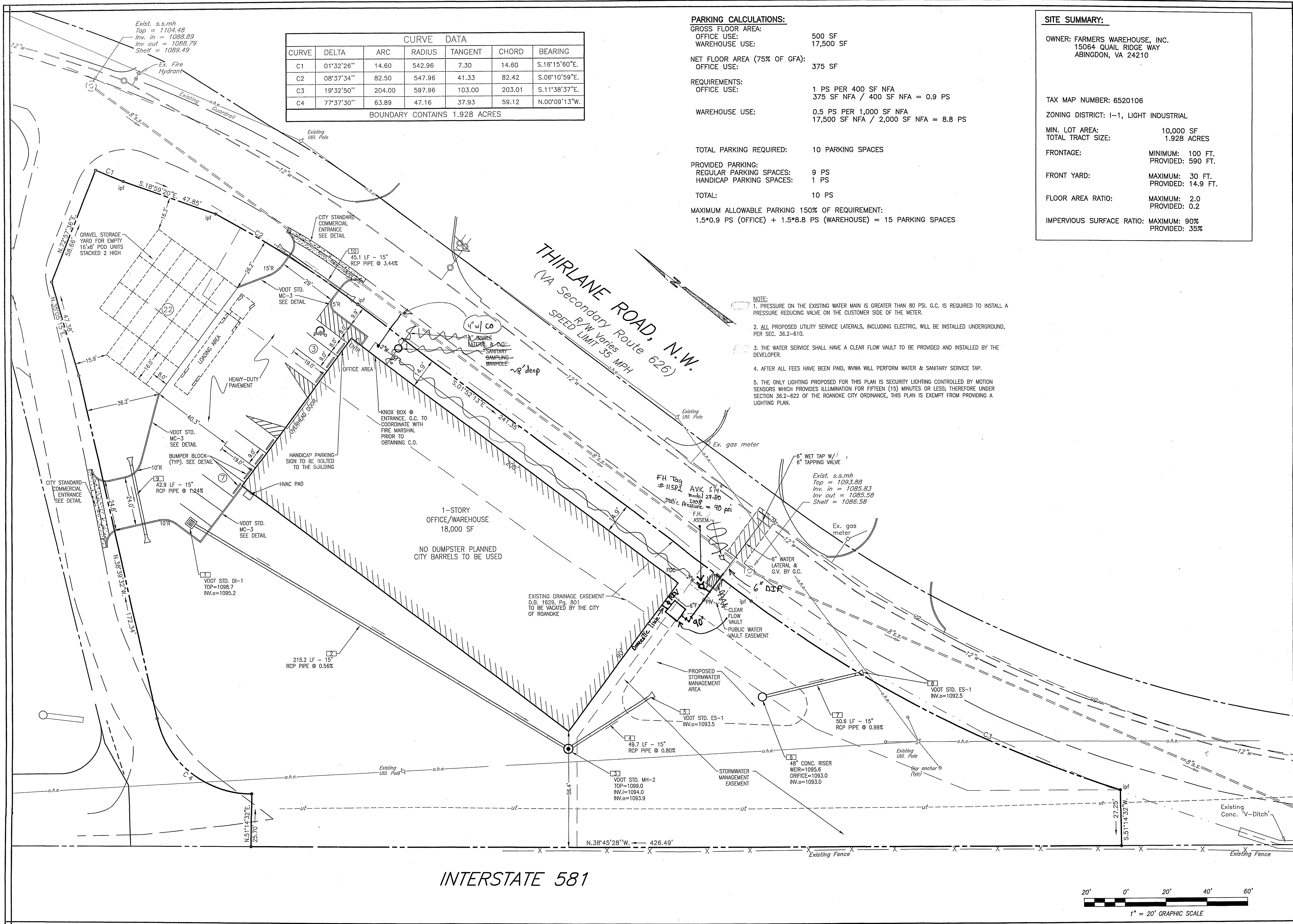




CURVE DATA					
CURVE	DELTA	ARC	RADIUS	TANGENT	CHORD
C1	01°32'26"	14.60	542.96	7.30	14.60
C2	08°37'34"	82.50	547.96	41.33	82.42
C3	19°32'50"	204.00	597.96	103.00	203.01
C4	77°37'30"	63.89	47.16	37.93	59.12
BOUNDARY CONTAINS 1.928 ACRES					

PARKING CALCULATIONS:

GROSS FLOOR AREA:
OFFICE USE: 500 SF
WAREHOUSE USE: 17,500 SF

NET FLOOR AREA (75% OF GFA):
OFFICE USE: 375 SF

REQUIREMENTS:
OFFICE USE: 1 PS PER 400 SF NFA
375 SF NFA / 400 SF NFA = 0.9 PS

WAREHOUSE USE: 0.5 PS PER 1,000 SF NFA
17,500 SF NFA / 2,000 SF NFA = 8.8 PS

TOTAL PARKING REQUIRED: 10 PARKING SPACES

PROVIDED PARKING:
REGULAR PARKING SPACES: 9 PS
HANDICAP PARKING SPACES: 1 PS

TOTAL: 10 PS

MAXIMUM ALLOWABLE PARKING 150% OF REQUIREMENT:
1.5*0.9 PS (OFFICE) + 1.5*8.8 PS (WAREHOUSE) = 15 PARKING SPACES

SITE SUMMARY:

OWNER: FARMERS WAREHOUSE, INC.
15064 QUAIL RIDGE WAY
ABINGDON, VA 24210

TAX MAP NUMBER: 6520106

ZONING DISTRICT: I-1, LIGHT INDUSTRIAL

MIN. LOT AREA: 10,000 SF
TOTAL TRACT SIZE: 1.928 ACRES

FRONTAGE: MINIMUM: 100 FT.
PROVIDED: 590 FT.

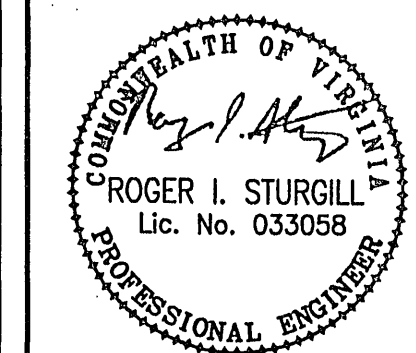
FRONT YARD: MAXIMUM: 30 FT.
PROVIDED: 14.9 FT.

FLOOR AREA RATIO: MAXIMUM: 2.0
PROVIDED: 0.2

IMPERVIOUS SURFACE RATIO: MAXIMUM: 90%
PROVIDED: 35%

NOTE:

- PRESSURE ON THE EXISTING WATER MAIN IS GREATER THAN 80 PSI. G.C. IS REQUIRED TO INSTALL A PRESSURE REDUCING VALVE ON THE CUSTOMER SIDE OF THE METER.
- ALL PROPOSED UTILITY SERVICE LATERALS, INCLUDING ELECTRIC, WILL BE INSTALLED UNDERGROUND, PER SEC. 36.2-610.
- THE WATER SERVICE SHALL HAVE A CLEAR FLOW VAULT TO BE PROVIDED AND INSTALLED BY THE DEVELOPER.
- AFTER ALL FEES HAVE BEEN PAID, WWA WILL PERFORM WATER & SANITARY SERVICE TAP.
- THE ONLY LIGHTING PROPOSED FOR THIS PLAN IS SECURITY LIGHTING CONTROLLED BY MOTION SENSORS WHICH PROVIDES ILLUMINATION FOR FIFTEEN (15) MINUTES OR LESS; THEREFORE UNDER SECTION 36.2-622 OF THE ROANOKE CITY ORDINANCE, THIS PLAN IS EXEMPT FROM PROVIDING A LIGHTING PLAN.



REFLECTING TOMORROW
www.balzer.cc
PLANNERS • ARCHITECTS
ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-9580
FAX: 540/772-8050

501 Branchway Road
Richmond, Virginia 23236
Phone: 804/784-0271
FAX: 804/794-2635

880 Technology Park Drive
Suite 200
Glen Allen, Virginia 23059
Phone: 804/553-0132
FAX: 804/553-0133

448 Peppers Ferry Road, N.W.
Christiansburg, Virginia 24073
Phone: 540/381-4280
FAX: 540/381-4281

1561 Commerce Road
Suite 401
Verona, Virginia 24602
Phone: 540/248-3920
FAX: 540/248-3921

FARMERS
WAREHOUSE, INC.
DIMENSIONAL PLAN
ROANOKE CITY, VIRGINIA

DRAWN BY: AJS

DESIGNED BY: CPB

CHECKED BY: JVJ

DATE: 01/22/2008

REVISIONS:

03/06/2008

04/04/2008

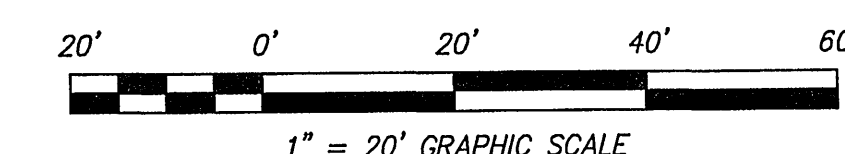
SCALE: 1" = 20'

SHEET NO.

C-2

JOB NO.

R0700277.00



As-Built 7.2.09 K. Winslow