

## GENERAL NOTES

### PRE-CONSTRUCTION MEETING AND CONSTRUCTION COMMENCEMENT:

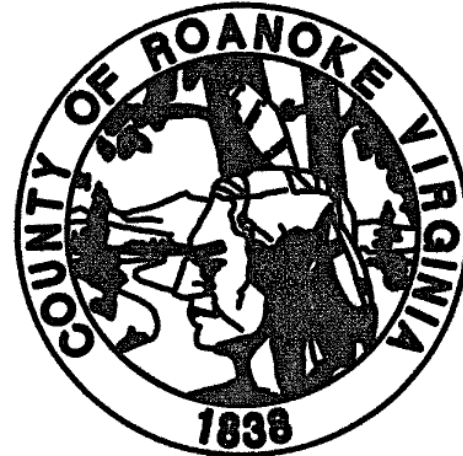
- All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County, the Western Virginia Water Authority, and the Virginia Department of Transportation.
- Stormwater Management Agreements with an attached 8 1/2" x 11" or 8 1/2" x 14" plat must be approved and recorded prior to the pre-construction meeting.
- Once all required items are submitted to the County of Roanoke, the developer must contact the Development Review Coordinator to indicate that a pre-construction meeting needs to be scheduled. The pre-construction meeting will be scheduled with the owner/developer two (2) working days later.
- All land disturbing projects that require approval of an erosion and sediment control plan, grading or clearing permit shall require that the applicant provide the name of an individual who will be responsible for land disturbing activities and that this individual hold a Responsible Land Disturber (RLD) Certificate from the Department of Environmental Quality. The Responsible Land Disturber can be anyone from the Project team that is certified by the Commonwealth of Virginia to be in charge of carrying out the land disturbing activity for the project.
- It is the responsibility of the owner/developer to notify the certified Responsible Land Disturber and the Utility Contractor to attend the pre-construction meeting.
- The Development Review Coordinator will schedule the pre-construction meeting with the County Review Engineer, the County Inspector, and the Western Virginia Water Authority and the Town of Vinton Public Works Department if applicable.
- An approved set of plans, Storm Water Pollution Prevention Plan (SWPPP), VSPM coverage letter, and all permits must be available at the construction site at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- The project engineer will inform the owner/developer verbally and in writing of the County's obligation to perform inspections on site. Everyone in the meeting will be required to sign a pre-construction checklist indicating their knowledge of Roanoke County's obligation to perform inspections on site.
- The Erosion Control Permit or Combined Erosion Control & VSPM Permit is given to the developer at this pre-construction meeting.
- Notify the County of Roanoke prior to beginning installation of ESC measures. The County will inspect initial installations to ensure compliance with approved plan prior to start of grading. The developer SHALL contact the project inspector 24 hours before beginning any grading or construction on the property.
- County inspectors must inspect storm drain / stormwater management / BMP installations during the process of installation. Please contact the site inspector 24 hours in advance.
- All work shall be subject to inspection by Roanoke County, the Western Virginia Water Authority and the Virginia Department of Transportation inspectors.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001 or VA 811.
- The 100 year Floodway shall be staked prior to any construction.
- Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer at all times of construction.
- The Department of Community Development shall be notified when a spring is encountered during construction.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets or rights of ways. It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- Plan approval in no way relieves the developer or contractors of the responsibilities contained within the erosion and sediment control or stormwater management policies.
- Field construction shall honor proposed drainage divides as shown on plans.
- Field corrections shall be approved by the Roanoke County Engineering Division and/or the Western Virginia Water Authority and the Professional of Record, prior to such construction.
- The developer or contractor shall supply the County and the Western Virginia Water Authority with correct As-Built plans before final acceptance.

### VIRGINIA DEPARTMENT OF TRANSPORTATION:

- Plan approval by Roanoke County does not guarantee issuance of any permits by the Virginia Department of Transportation.
- A permit must be obtained from the Virginia Department of Transportation, Salem Residency Office prior to construction in the highway right-of-way.
- The preliminary pavement designs should be based on a predicted sub-grade CBR value of 7.0 and with a Resiliency Factor (RF) of 2.0 as shown in Appendix I of the 2000 Virginia Department of Transportation Pavement Design Guide for Subdivision and Secondary Roads. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Refer to the same manual as the number and locations of the required soil samples to be tested. All pavement designs shall be submitted to the Department for review and approval. The sub-grade shall be approved by the Virginia Department of Transportation prior to placement of the base. Base shall be approved by the Virginia Department of Transportation for depth, template, and compaction before the surface is applied.
- Standard guardrail with safety end sections may be required on fills or in areas where hazards exist as deemed necessary. After completion of rough grading operations, the County Engineer and Virginia Department of Transportation shall be contacted to schedule a field review. Where guard rail is warranted, the standard shoulder width shall be provided and the guard rail shall be installed in accordance with the 2001 VDOT Road and Bridge Standards as part of this development.
- Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
- All traffic devices shall be in accordance with current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

See Sheet \_\_\_\_\_ for Stormwater Site Statistics Table. N/A  
See Sheet \_\_\_\_\_ for New BMP Information Table. N/A

The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting.  
The notes on this sheet shall not be modified.



# COUNTY OF ROANOKE, VA

NAME OF DEVELOPMENT <b>NEW FACILITY FOR FELLOWSHIP COMMUNITY CHURCH</b>		OWNER/DEVELOPER <i>Robbie Willard</i> AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND OTHER APPLICABLE ROANOKE COUNTY CODES. I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS AND THE THIRTY (30) POINTS SHOWN ON THIS COVER SHEET UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.
MAGISTERIAL DISTRICT(S) CATAMBA		
OWNER (name, address, telephone) FELLOWSHIP COMMUNITY CHURCH 1226 RED LANE EXTENSION SALEM, VIRGINIA 24153 TEL. 387-3200	CONTACT: ROBBIE WILLARD	
DEVELOPER (name, address, telephone) FELLOWSHIP COMMUNITY CHURCH 1226 RED LANE EXTENSION SALEM, VIRGINIA 24153 TEL. 387-3200	CONTACT: ROBBIE WILLARD	
ENGINEER, ARCHITECT OR SURVEYOR (name, address, telephone) HUGHES ASSOCIATES ARCHITECTS 656 ELM AVENUE, S.W. P.O. BOX 1034 ROANOKE, VIRGINIA 24005	CONTACT: MIKE WOOLVINE (540) 342-4002 TEL. (540) 342-2060 FAX	
TAX MAP NO(S) 045.02-01-15.00-0000		

## WATER NOTES

All water facilities shall be constructed according to the Western Virginia Regional Design and Construction Standards (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown in their exact location. The contractor shall comply with the (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.

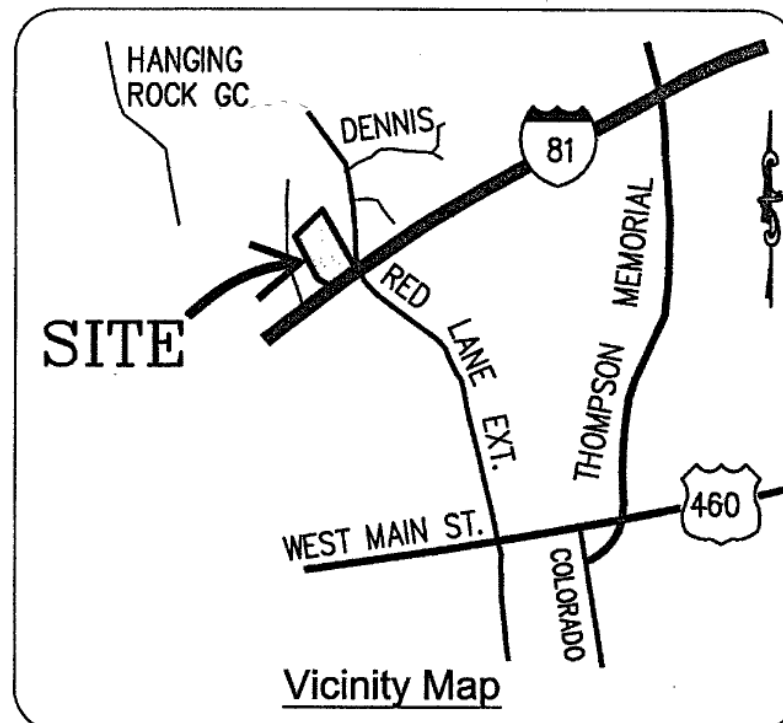
All trenches in existing or future highway right-of-ways shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

Water main shall be minimum Class 350 Ductile Iron in accordance with AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

Ductile Iron Pipe in accordance with the Western Virginia Regional Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

Western Virginia Water Authority  
Availability letter number: N/A



## LEGEND

Property Line	P
Right-of-way	R/W
Centerline	CL
Minimum Building Line	
Existing Storm Sewer	
Existing Sanitary Sewer	
Existing Water Main	
Existing Contour	1045
Proposed Contour	1045
Proposed Drainage Divide	
Proposed Limits of Clearing	24" S.D.
Proposed Storm Sewer	
Proposed Sanitary Sewer	8" M.H.
Proposed Water Main	
HYDRANT	
VALVE	
BLOWOFF	

## SEWER NOTES

All sanitary sewer facilities shall be installed according to the Western Virginia Regional Design and Construction Standards (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown in their exact location. The contractor shall comply with (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.)

All trenches in existing or future rights-of-way shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

## PRIVATE UTILITIES

Underground utilities installed on private property or in private utility easements and building related storm drains shall be designed and installed per the current edition of the Virginia Uniform Statewide Building Code. Design and installation requirements issued by the Western Virginia Water Authority that meet or exceed the USBC requirements are acceptable for private utilities. All private utilities are to be permitted through and inspected by the Roanoke County Inspections Office. Vaults, valves and other devices installed by or under the control of the Western Virginia Water Authority may not substituted for the code required devices.

- SP-1 ROANOKE COUNTY COVER SHEET
- SP-2 GENERAL NOTES AND EROSION CONTROL NARRATIVE & MINIMUM STANDARDS
- SP-3 OVERALL PROJECT SITE
- SP-4 PHASE 1 FILTERRA & DETENTION POND MODIFICATION PLAN
- SP-5 PHASE I DRIVEWAY WIDENING PLAN & ON-SITE BORROW AREA
- SP-6 SITE DEMOLITION, LAYOUT & LANDSCAPE PLAN
- SP-7 GRADING & DRAINAGE PLAN
- SP-8 UTILITY SERVICES PLAN
- SP-9 EROSION & SEDIMENT CONTROL PLAN AND COST ESTIMATE
- SP-10 SITE DETAILS & STORM PROFILES
- EO-1 SITE LIGHTING PLAN

## Sheet Index

## SURVEY INFORMATION

Horizontal and vertical control surveys were performed in year: 2014  
By: Hughes Associates Architects and Engineers

All vertical elevations must be referenced to the National Geodetic Vertical Datum of 1929 or 1985. All horizontal elevations must be referenced to the North American Datum of 1927 or 1983.

Horizontal Datum: Vertical Datum:

Source of topographic mapping is dated August 2014

Boundary was performed by dated:

Benchmark Information: Finish Floor of the Church - Assumed 1269.80

The professional seal and signature certifies the boundary survey and topographic mapping to be accurate and correct.

## QUANTITY & COST ESTIMATE

ITEM	QUANTITY	UNIT	UNIT PRICE	PHASE I BONDABLE	PHASE II BONDABLE
CLEARING AND GRUBBING		ACRES			
EXCAVATION		C.Y.			
EMBANKMENT		C.Y.			
DROP INLET DI-1	3	EACH	\$ 1800		\$ 5,400
CURB INLET DI-3C, L=6'		EACH			
MANHOLE MH-1 Frame & Cover	1	EACH	\$ 1800		\$ 1,800
-IN. CONCRETE PIPE, CLASS III		LIN. FT.			
-IN. CONCRETE PIPE, CLASS IV		LIN. FT.			
15-IN. N-12 HDPE PIPE	673	LIN. FT.	\$ 35		\$ 23,555
-IN. N-12 HDPE PIPE		LIN. FT.			
-IN. C.M. CULVERT		LIN. FT.			
-IN. C.M. CULVERT		LIN. FT.			
BOX CULVERT		LUMP SUM			
PAVED DITCH		LIN. FT.			
RIPRAP - CLASS		S.F.			
SODDED SWALE		S.Y.			
-IN. CONCRETE ENDWALL EW-		EACH			
-IN. END SECTION ES-		EACH			
RETAINING WALL		SF/FACE			
SIDEWALK	5495	SF.	\$ 4		\$21,980
CURB & GUTTER CG-6	359	LIN. FT.	\$ 18		\$6,462
CURB CG-2	1078	LIN. FT.	\$ 16		\$17,248
GRAVEL BASE		S.Y.			
GRAVEL SHOULDER		S.Y.			
SURFACE TREATMENT		S.Y.			
-IN. BIT. CONC.: TYPE B-		S.Y.			
2-IN. BIT. CONC.: TYPE SM-9.5	2,485	S.Y.	\$ 20		\$ 49,700
6-IN. BASE MATERIAL: VDOT 21A OR 21B AGGREGATE					
1.5-IN. BIT. CONC.: TYPE SM-9.5					
2-IN. BIT. CONC.: TYPE BM-2	47	S.Y.	\$ 60		\$ 2,820
8-IN. BASE MATERIAL: VDOT 21A OR 21B AGGREGATE					
6" WATER LINE - DR14 PVC	232	LIN. FT.	\$ 50		\$ 11,600
2" WATER LINE - PE PIPE	214	LIN. FT.	\$ 25		\$ 5,350
6" GATE VALVES		EACH			
FIRE HYDRANT ASSEMBLIES	1	EACH	\$ 2,200		\$ 2,200
BLOW OFFS W/VAULT, FRAME & COVER		EACH			
8" TAPPING SLEEVE & VALVE		EACH			
6-IN. GATE VALVES, W/VAULT, FRAME & COVER	2	EACH	\$ 1,500		\$ 3,000
2-IN. GATE VALVES, W/VAULT, FRAME & COVER	2	EACH	\$ 800		\$ 1,600
4" SANITARY SEWER	65	LIN. FT.	\$ 30		\$ 1,950
SAMPLING MANHOLE/PORT		EACH			
LANDSCAPING	1	LUMP SUM	\$ 5,000.00		\$ 5,000
AMENITIES (INCLUDING BUT NOT LIMITED TO TRAILS, ETC...)		LUMP SUM			
STORMWATER MANAGEMENT (FROM SHEET SP-9)	1	LUMP SUM	\$52,244		\$24,318
AS-BUILT PLANS (STORMWATER MANAGEMENT)	1	LUMP SUM	\$ 1,000.00		\$ 1,000
SUB-TOTAL			\$ 63,244		\$ 184,983
10% CONTINGENCY			\$ 6,324.40		\$ 18,498.30
ESTIMATED TOTAL				PHASE I \$ 69,568.00	PHASE II \$ 203,481.00

I HEREBY CERTIFY THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.

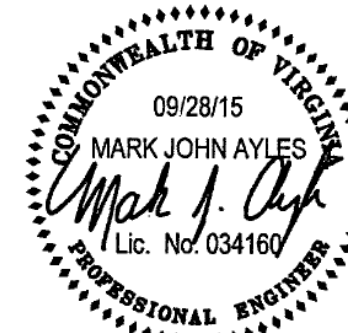
SIGNED: *Mike Woolvine*

DATE: 11/19/15

DEC. 10, 2013

SEPT. 28, 2015

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**HUGHES ASSOCIATES ARCHITECTS & ENGINEERS**  
Architecture • Engineering • Consulting

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FAX (540) 342-2060  
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1324 ROANOKE ROAD  
DALEVILLE, VA 24083  
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(540) 966-5906 FAX  
e-mail: rpierson@bnet.com

**Approved Plans**

Private hydrant #29202  
Installed - 5/23/16

Type - AVK Model 2780

Contractor: Bowman Excavating

Restricted by Bell Electronics

Roadbed from Valve to hydrant

Pipe - 6" National PVC DR14



Inspector: Brian Whitbeck  
Project Man: Dave V.

As built  
4/4/17

DEVELOPMENT PLAN	APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY	Date
Department	10/17/15	
Development Review	10/17/15	
Grading	10/17/15	
Water & Sewer	10/17/15	
Noting & Zoning	10/17/15	

**NEW FACILITY FOR FELLOWSHIP COMMUNITY CHURCH**  
1226 Red Lane Extension Salem, VA

**ROANOKE COUNTY COVER SHEET**

COMMISSION No. 14028  
SHEET SP-1

**SHEET 1 OF 11**