

WWVA WATER AND SEWER NOTES

WWVA AVAILABILITY #: 18-198

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY (WWVA) AVAILABLE AT WWW.WESTERNVAVATER.ORG OR BY CONTACTING THE AUTHORITY AT 540-853-5700. THE PROJECT SHALL ALSO COMPLY WITH THE GOVERNING JURISDICTION'S STANDARDS AND OTHER AGENCY STANDARDS (E.G., VDOT, DEQ, DCR, VDH, ETC.) WHERE APPLICABLE.
- A MINIMUM COVER OF THREE (3) FEET IS REQUIRED ON ALL WWVA WATER AND SEWER LINES.
- ALL EXISTING UTILITIES MAY NOT BE SHOWN IN THEIR EXACT LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AND SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN THE AREAS OF CONSTRUCTION PRIOR TO STARTING WORK.
- THE LOCATION OF EXISTING UTILITIES ACROSS OR ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATELY CORRECT. THE CONTRACTOR SHALL ON HIS OWN INITIATIVE AND AT NO EXTRA COST, LOCATE ALL UNDERGROUND LINES AND STRUCTURES AND POT HOLE AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. ALL DAMAGE INCURRED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- PLAN APPROVAL BY THE WWVA DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE OR RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.
- ALL PRIVATE UTILITY CONSTRUCTION, I.E. PIPING, VALVES, HYDRANTS, METERS AND BOXES, CLEAN OUTS, SANITARY SEWER MANHOLES, BEDDING, ETC. SHALL COMPLY WITH THE CURRENT VIRGINIA UNIFORM STATEWIDE BUILDING CODE (INCLUDING AMENDMENTS).
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND TWO (2) FOOT MINIMUM HORIZONTALLY FROM THE OUTSIDE OF PIPE TO OUTSIDE OF PIPE WITH ALL OTHER UNDERGROUND UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WWVA STANDARDS SHALL BE ENFORCED.
- ALL UTILITY GRADE ADJUSTMENTS SHALL BE IN ACCORDANCE WITH WWVA STANDARDS AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- FIELD CHANGES SHALL BE SUBMITTED BY THE ENGINEER OF RECORD TO THE LOCALITY AND APPROVED BY THE WWVA.

LEGEND

-----34.8-----	EX. INTRMDT. CONTOUR	-----	PROP. INTRMDT. CONTOUR
---34.5---	EX. INDEX CONTOUR	-----1320-----	PROP. INDEX CONTOUR
+ 33.55	EX. SPOT ELEVATION	35.55	PROP. SPOT ELEVATION
-----8" WL-----	EX. WATER LINE	-----8" WL-----	PROP. WATER LINE
-----8" SAN-----	EX. SANITARY SEWER	-----8" SAN-----	PROP. SANITARY SEWER
-----18" RCP-----	EX. STORM PIPE	-----	PROP. STORM PIPE
-----	EX. EDGE OF PAVEMENT	-----	PROP. EDGE OF PAVEMENT
-----	EX. BUILDING	-----	PROP. BUILDING
-----	EX. CONCRETE	-----	PROP. CONCRETE
-----	EX. PAVEMENT	-----	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
-----	EX. GRAVEL	-----	PROP. GRAVEL
-----	PAVEMENT REPLACEMENT	-----	PROP. PAVERS
-----	EX. POWER POLE	-----	PROP. POWER POLE
-----	EX. SANITARY SEWER MANHOLE	-----	PROP. MANHOLE
-----	EX. STORM SEWER MANHOLE	-----	PROP. WATER METER
-----	CLEANOUT	-----	PROP. GATE VALVE
-----	EX. LIGHT POLE	-----	BLOW-OFF VALVE
-----	WATER LINE REDUCER	-----	BENCHMARK
-----	EX. TELEPHONE	-----	PROP. GAS LINE
-----	EX. GAS LINE	-----	PROP. OVERHEAD CABLE
-----	EX. OVERHEAD CABLE	-----	PROP. UNDERGRND POWER LINE
-----	EX. FENCE	-----	PROP. FENCE
-----	EX. TREE LINE	-----	PROP. TREE LINE
-----	ADJOINING PROPERTY LINE	-----	SITE PROPERTY LINE
-----	EXISTING ROAD MONUMENTS	-----	INLET PROTECTION
-----	WETLAND AREA	-----	

# FIELDSTONE PHASE I

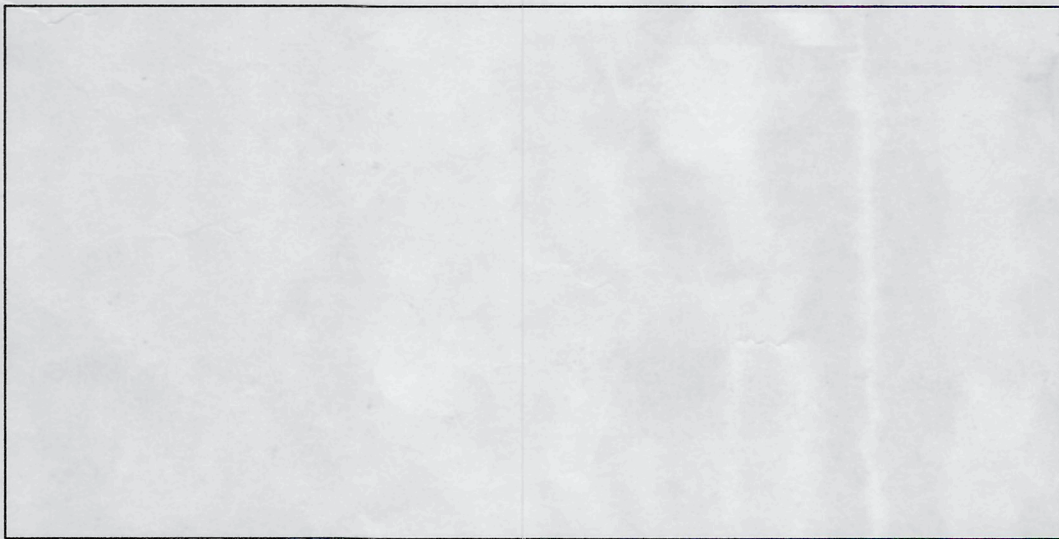
## 2582 ROANOKE ROAD DALEVILLE, VA 24083

### AMSTERDAM DISTRICT

### BOTETOURT COUNTY

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BOTETOURT COUNTY APPROVAL BLOCK

ABBREVIATIONS

AH/FH	ARROW HEAD TOP OF FIRE HYDRANT	EVCS	END VERT. CURVE STA.	RR	RAILROAD
APPROX	APPROXIMATE	EW	ENDWALL	RYS	REAR YARD SETBACK
ASPH	ASPHALT	EXIST	EXISTING	SAN	SANITARY
BC	BACK OF CURB	FDN	FOUNDATION	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FF	FINISHED FLOOR	SD	STORM DRAIN
BLDG	BUILDING	FG	FINISH GRADE	SECT	SECTION
BLK	BLOCK	GSE	GRADE BREAK ELEVATION	SE	SLOPE EASEMENT
BM	BENCHMARK	GBS	GRADE BREAK STATION	SS	SANITARY SEWER
BS	BOTTOM OF BOTTOM STEP	HOA	HOMEOWNERS ASSOCIATION	SSD	STOPPING SIGHT DISTANCE
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LT	LENGTH OF VERTICAL CURVE	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DI	DROP INLET	MON	MONUMENT	TS	TOP OF TOP STEP
DIA	DIAMETER	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	TYP	TYPICAL
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEV	ELEVATION	PVM	PAVEMENT	VERT	VERTICAL
ENTR	ENTRANCE	R	RADIUS	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	RT	RIGHT	YD	YARD
EVCE	END VERT. CURVE ELEV.	R.O.W.	RIGHT OF WAY		
		REQD	REQUIRED		

SITE INFORMATION

OWNER/DEVELOPER:	FIELDSTONE PLACE, LLC ATTN: ROBERT FRALIN P.O. BOX 20886 ROANOKE, VA 24018
EXISTING USE:	SINGLE FAMILY RESIDENCE
ZONING:	B-2, BUSINESS DISTRICT R-3, MEDIUM DENSITY RESIDENTIAL DISTRICT R-4 HIGH DENSITY RESIDENTIAL DISTRICT W/ S.U.P.
PARCEL ID:	88-36 & 88-36B
TOTAL PROPERTY AREA:	81.30 AC
TOTAL DISTURBED AREA:	33.0 ACRES

R-4 ZONING REGULATIONS

PROPOSED USE:	MULTI-FAMILY DWELLINGS
MIN. LOT AREA:	2.00 AC FOR MULTI-FAMILY DWELLINGS
PROPOSED AREA:	21.87 AC.
MAXIMUM DENSITY:	15 MULTI-FAMILY DWELLING UNITS PER AC. PER S.E.P.
PROPOSED DENSITY:	4.4 UNITS PER AC. FOR PHASE 1 DEVELOPMENT 13.2 UNITS PER AC. FOR FULL BUILDOUT
MINIMUM LOT WIDTH:	100 FT AT THE FRONT SETBACK LINE
MINIMUM YARDS:	
FRONT: 50'	
SIDE: 25'	MULTI-FAMILY STRUCTURES SHALL BE SEPARATED BY A MINIMUM OF 25'
REAR: 25'	
MAXIMUM BUILDING HEIGHT:	45'
PROPOSED BUILDING HEIGHT:	36'
TOTAL REQUIRED OPEN SPACE:	2.19 AC
PROPOSED OPEN SPACE:	2.19 AC
TOTAL REQ'D PASSIVE RECREATION AREA:	1.10 AC
TOTAL PROPOSED PASSIVE RECREATION AREA:	1.10 AC

SPECIAL EXCEPTIONS PERMIT (S.E.P.) CONDITIONS:

- THE R-4 HIGH DENSITY DISTRICT WILL BE DEVELOPED IN SUBSTANTIAL CONFORMANCE WITH THE DEVELOPMENT PATTERN OF THE R-4 DEVELOPMENT AREA SHOWN ON THE ATTACHED CONCEPT PLAN "FIELDSTONE CONCEPT PLAN" EXHIBIT A DATED 4/13/2018, LAST REVISED 8/20/2018, SUBJECT TO NECESSARY MODIFICATION AS MAY BE REQUIRED BY FINAL ENGINEERING AND/OR REGULATORY AGENCIES.
- THE R-4 HIGH DENSITY DISTRICT SHALL BE DEVELOPED IN SUBSTANTIAL CONFORMANCE WITH THE "FIELDSTONE DEVELOPMENT GUIDELINES R-4 HIGH DENSITY RESIDENTIAL DISTRICT" DATED 8/2/2018.
- ADJACENT TO THE LAYMAN FAMILY PROPERTY, A 100' BUILDING AND PARKING SETBACK WILL BE MAINTAINED.
- ADJACENT TO THE LAYMAN FAMILY PROPERTY, A BLACK VINYL CHAIN LINK FENCE WILL BE INSTALLED.
- ADJACENT TO THE LAYMAN FAMILY PROPERTY, 2 ROWS OF 6' TALL LEYLAND CYPRESS TREES STAGGERED EVERY TEN FEET WILL BE INSTALLED AND PROPERLY MAINTAINED.

PARKING CALCULATIONS:

PARKING REQUIRED:	1.75 SPACES/1 BEDROOM APT. 2 SPACES/2 BEDROOM APT.
	36 1-BR UNITS PROPOSED = 63 SPACES REQUIRED 60 2-BR UNITS PROPOSED = 120 SPACES REQUIRED
	183 TOTAL SPACES REQUIRED

PARKING PROPOSED:	203 TOTAL SPACES PROPOSED
HANDICAP PARKING REQUIRED:	7 SPACES
HANDICAP PARKING PROPOSED:	9 SPACES

GENERAL SITE NOTES:

- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, BOTETOURT COUNTY, AND WWVA.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY LINES, ELECTRIC, TELEPHONE, CABLE LINES, ETC. SHALL BE PLACED UNDERGROUND.
- VDOT WILL NOT ACCEPT ANY PROPOSED ROAD INTO THE STATE MAINTENANCE SYSTEM IF, UPON THE DEVELOPMENT OF THE COMMERCIAL PARCELS DURING THE TIME WHICH THE ROAD IS PRIVATELY OWNED, THE COMMERCIAL ENTRANCES DO NOT MEET VDOT REQUIREMENTS AS SHOWN IN APPENDIX F OF THE VDOT ROAD DESIGN MANUAL.

ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

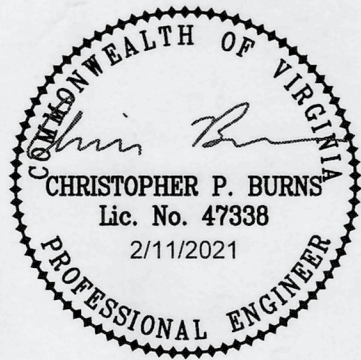
BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY BY BALZER AND ASSOCIATES, INC.



**BALZER & ASSOCIATES**  
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ENGINEERS / SURVEYORS

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Roanoke, VA 24018  
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As Built  
Inspector Bruce Peters  
Contractors:  
Onsite Hubbard  
Offsite Flatwoods Construction

FIELDSTONE PHASE I

COVER

AMSTERDAM DISTRICT  
BOTETOURT COUNTY, VIRGINIA

DRAWN BY	CLL
DESIGNED BY	CPB
CHECKED BY	CPB
DATE	1/25/2019
SCALE	AS NOTED
REVISIONS	
4/30/2019	
10/8/2019	
12/5/2019	
10/14/2020	
2/11/2021	

**C1**  
PROJECT NO 04170078.01