

LEGEND

- | | |
|-----|----------------------------|
| | WATER MANHOLE (WMH) |
| | TRAVERSE POINT |
| | SEWER MANHOLE (SSMH) |
| | TREE |
| | SIGN |
| | BORE HOLE |
| | FENCE |
| | GUY WIRE |
| | POWER POLE |
| | FIRE HYDRANT |
| | CLEANOUT |
| | ELECTRIC MANHOLE (EMH) |
| | STORM DRAIN MANHOLE (SDMH) |
| | LIGHT POLE |
| | EXISTING PAVEMENT |
| | WATER METER (WM) |
| | SURVEYED PROPERTY LINE |
| | SET LINE |
| | SET REBAR |
| | EXISTING IRON FOUND |
| | END OF LINE/CURVE |
| | NOTHING FOUND, NOTHING SET |
| LP | LIGHTPOST |
| OHT | OVERHEAD TELEPHONE |
| OHE | OVERHEAD ELECTRIC |
| UG | UNDERGROUND GAS |
| UE | UNDERGROUND ELECTRIC |
| UT | UNDERGROUND TELEPHONE |
| | TREFE LINE |
| TC | TERRA COTTA PIPE |
| | TELEPHONE MANHOLE (TMH) |
| | WATER METER (WM) |

NOTES

1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND THEREFORE MAY NOT SHOW ALL ENCUMBRANCES.
2. THIS PROPERTY AS PLATTED DOES NOT FALL WITHIN THE 100 YEAR FLOOD ZONE.
3. THIS PLAT WAS PREPARED FROM AN ACTUAL AND CURRENT FIELD SURVEY. AUGUST 5, 2003.
4. ANY PHYSICAL IMPROVEMENTS NOT DIMENSIONED, SHALL NOT BE SCALED.
5. "EVA FLOOD ZONE: "X"
6. LEGAL REFERENCE: INST "990002468

FIRM PANEL #51161C0046D DATED OCT. 15, 1993

SURVEY PROVIDED ON 8/5/03 BY:

TMW P.C.

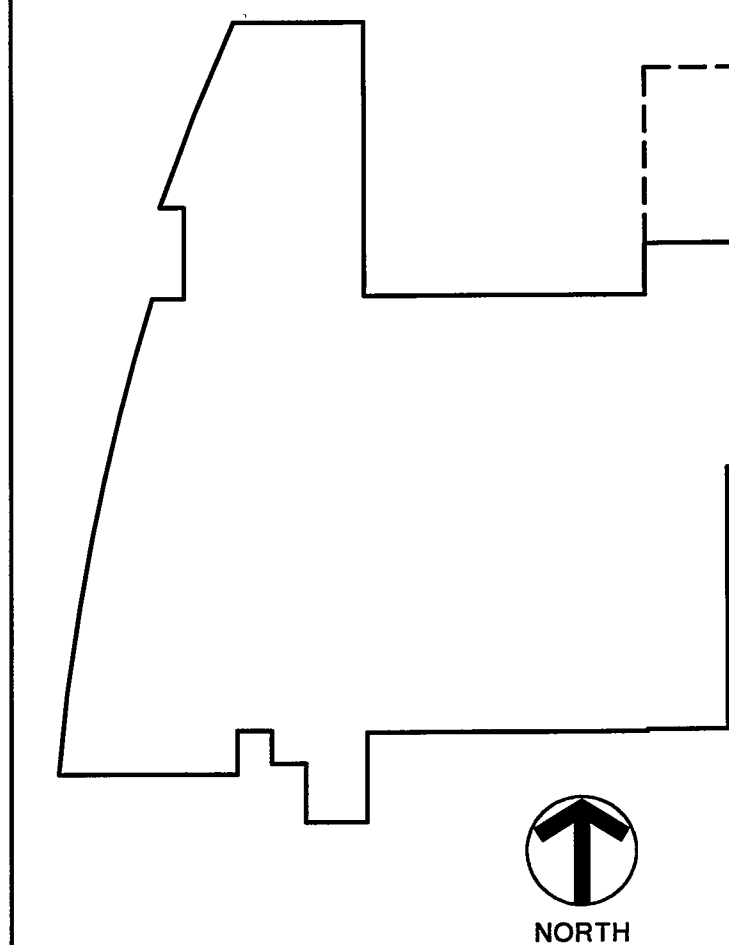
ENGINEERING • ARCHITECTURE • SURVEYING
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GENERAL NOTES (CONTD)

10. ALL WORK WITHIN PUBLIC R/W SHALL ADHERE TO THE CITY OF ROANOKE EXCAVATION AND RESTORATION STANDARDS. COPIES OF THESE STANDARDS ARE AVAILABLE AT THE CITY OR WWW.ROANOKEVA.GOV.
SPECIFIC AREAS TO ADDRESS INCLUDE:
A. WIDTHS AND DEPTHS OF PAVEMENT
RESTORATION INCLUDING EITHER REPLACEMENT OR MILL AND OVERLAY.
B. PAVEMENT MARKING REPLACEMENT OR ADDITIONS WHERE DISTURBED OR RELOCATED.
C. REPAIRED OR REPLACED AFTER LOOP DETECTOR LOCATION BY MISS UTILITY, ALL LOOPS DISTURBED SHALL BE REPLACED OR REPAIRED WITHIN THREE BUSINESS DAYS.
D. PERMIT APPLICATION, PERMIT BOND, AND WORK LOCATION SHEET.

7. IF LAND DISTURBING ACTIVITIES OCCUR PRIOR TO THE REMOVAL OF ON-SITE DRAINAGE INLETS NOTED TO BE REMOVED, INSTALL INLET PROTECTION. MAINTAIN THESE MEASURES UNTIL THE REMOVAL OF INLETS.
8. EXISTING CLEANOUT ADJACENT TO WOODEN ENCLOSURE HAS NOT BEEN IDENTIFIED AS SANITARY OR STORM DRAIN. CONTRACTOR SHALL IDENTIFY SOURCE AND ENSURE CONNECTION TO MUNICIPAL UTILITY IS MAINTAINED. ADJUST CONNECTION AS NECESSARY TO MEET NEW WORK.
9. REMOVAL OF EXISTING GUARDRAIL ALONG FRONT OF ROAD TO BE MAINTAINED BETWEEN EXISTING POSTS. CONTRACTOR SHALL INSTALL NEW GALVANIZED PIPE POST TO MATCH EXISTING WHERE NEW GUARDRAIL COMPLETES A CORNER. NEW GUARDRAIL SHALL BE INSTALLED WITHIN 4" OF EXISTING GUARDRAIL. POSTS SHALL BE AT A 4" SPHERE, CANNOT PASS BETWEEN THEM.

KEY PLAN



GENERAL NOTES

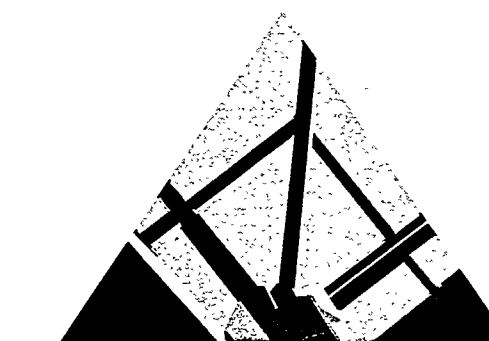
1. SALVAGE SEGMENTAL BLOCK WALL AND CAP BLOCK FOR WALL REPLACEMENT. STACK AND PALLETIZE REMAINING BLOCK AT BASE OF WALL TO ALLOW FOR EASE OF NEW INSTALLATION AND PROTECTION.
2. REMOVE STORM DRAIN INLET AND PIPE TO EXISTING BACK OF WALK AND PLUG PIPE PERMANENTLY WITH BRICK.
3. UTILITY REMOVAL: ALL EXCAVATIONS REMAINING FROM EXISTING LOT 40 AND LOT 40A MUST BE REMOVED, SHALL BE CAREFULLY BACKFILLED AND COMPACTED TO SUBGRADE ELEVATIONS. SOME LOT 40A MAY BE REMOVED TO EXISTING FOUNDATIONS WHERE SETTLEMENT CANNOT BE TOLERATED. REFER TO SPECS FOR TESTING REQUIREMENTS.
4. REMOVE EXISTING SANITARY CLEANOUT AND PORTION OF SEWER LATERAL UP TO LOCATION OF NEW MANHOLE.
5. PROVIDE TEMP. CHAIN LINK SAFETY FENCE (BARREL W/AFFIXED FENCE POST STYLE OR EQUIVALENT) AT LOCATIONS SHOWN AND AS REQUIRED DURING CONSTRUCTION. PERIMETER OF ALL WORK AREAS SHALL BE SECURED.
6. TEMPORARY FENCE WITHIN UPPER PARKING LOT SHALL BE LOCATED 25' EAST OF PROPERTY LINE. THIS SHALL BE THE EDGE OF DISTURBANCE ONTO AND WITHIN THE EXISTING 25' TEMPORARY CONSTRUCTION EASEMENT ONTO THE ADJACENT LAND OWNER'S PROPERTY.

Cole + Russell Architects



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Engineering
Interior Design
Landscape Architecture
Administration

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SPECTRUM DESIGN

10 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.6001
ROANOKE • MARION

Roanoke Fire Station & Fire Administration Building

CITY OF ROANOKE
PLAN NUMBER: 6548
BID NUMBER: 05-04-

SPECTRUM DESIGN PROJECT NO. 03035

DATE	MAY 29, 2005
DESIGN:	MAR
DRAWN:	MF
CHECKED:	
REVISIONS	NUMBER
	DATE

SHEET TITLE

CIVIL- EXISTING CONDITIONS & DEMOLITION PLAN

C-1.1

Received
WVWA - Engineering
MAY 29 2007

RECORD DRAWINGS

SALVAGE ITEMS:

EXISTING TREE GRATES AND FRAMES. RE-USE ONE FROM FRANKLIN ROAD FOR NEW TREE ON ELM AVENUE. ALL REMAINING UNUSED GRATES/FRAMES SHALL BE DELIVERED TO ROANOKE CITY PARKS AND RECREATION, 210 RESERVE AVENUE, MONTANA DUNE AREA, FOR COORDINATION AT 86-1994. EXISTING ARE NOT EASILY SEPARATED FROM FRAMES ALK THEY SHALL BE DEMOLISHED. IF THIS SHOULD BE THE CASE, PROVIDE ONE NEW FRAME FOR THE RELOCATED GRATES AT SINGLE NEW TREE ON ELM AVENUE. REFERENCE SHEET L-1.1 FOR LOCATION.

1" = 20'-0"