

CURVE TABLE	LENGTH	RADIUS	TAN	BRG	CHORD	DELTA
C1	0.78	432.47	4.38	N 07°-36'-22" E	0.78	01°-09'-46"
C2	24.43	432.47	12.22	N 06°-42'-33" E	24.43	03°-14'-13"
C3	156.93	432.47	79.34	N 21°-43'-02" E	156.93	20°-47'-25"

GENERAL LEGEND

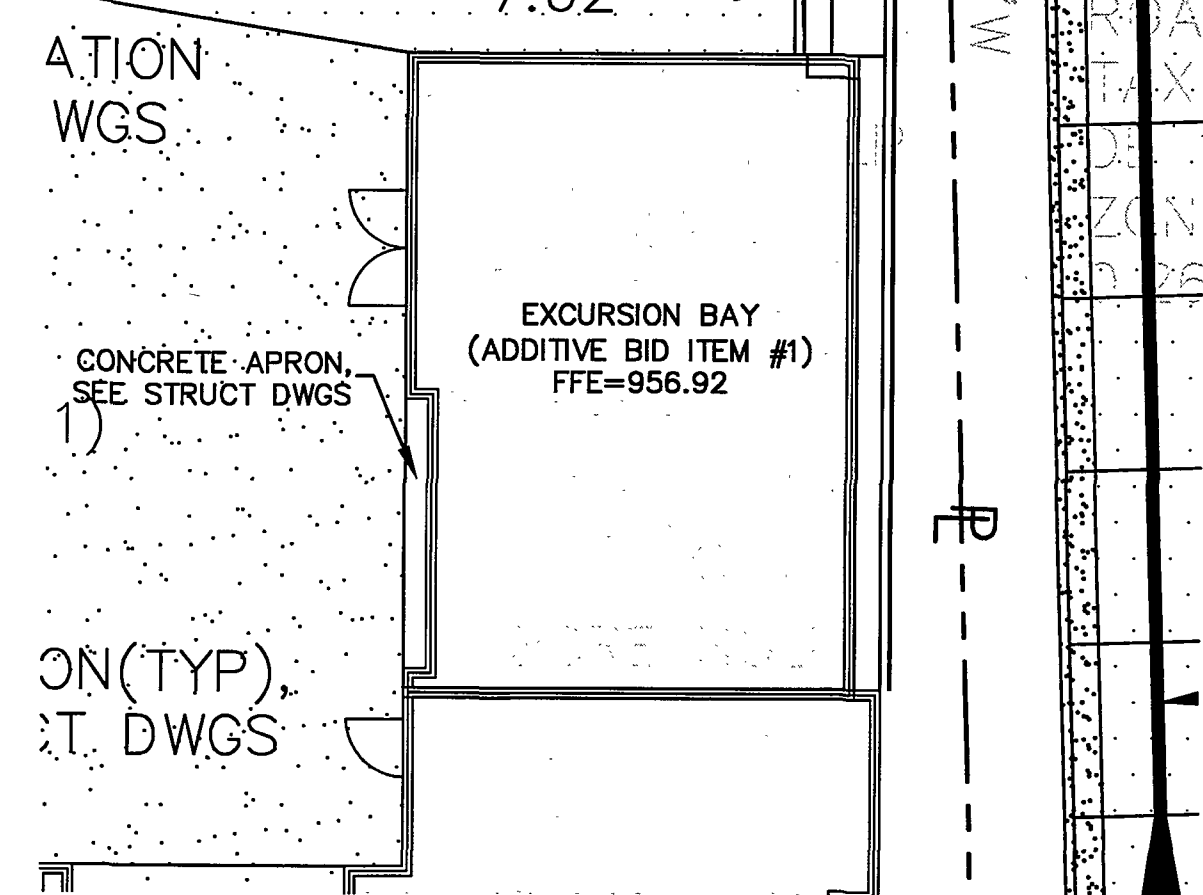
EXISTING	PROPOSED	DESCRIPTION
		TREE LINE
		MONUMENT OR AS NOTED
		IRON PIN FOUND
		PROPERTY CORNER
		PROPERTY BOUNDARY
		LIGHT POLE
		UTILITY POLE
		TELEPHONE PEDESTAL
		WATER METER
		FIRE HYDRANT
		WATER VALVE
		MANHOLE; SS, W or D
		CLEANOUT
		SANITARY PUMP STATION
		HV CONTROL POINT
		5' GRADES OR 10' GRADES
		1' GRADES OR 2' GRADES
		COOLING TOWER PIPING
		GAS PIPING
		FIRE SERVICE LINE
		DOMESTIC WATER LINE
		OVERHEAD ELEC & TELEPHONE
		UNDERGROUND TELEPHONE
		UNDERGROUND ELECTRICAL
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM DRAIN
		CREEK OR LARGE WATER SURFACE
		SWALE
		DROP INLET (DI-3A)
		DROP INLET (DI-3B)
		DROP INLET (DI-3C)
		DROP INLET (DI-7 or DI-1)
		CLEANOUT, GRAVITY SAN.
		SPOT ELEVATION
		HIGH POINT, WITH ELEVATION
		ITEMS FOR DEMOLITION
		FENCE
		MAN GATE
		DOUBLE MAN GATE
		LIMITS OF DISTURBANCE
		HANDICAPPED ACCESS ROUTE
		HANDICAPPED PARKING STALL

ABBREVIATIONS

WM	WATER METER
GM	GAS METER
WV	WATER VALVE
MBL	MINIMUM BUILDING LINE
TC	TOP OF CURB
BC	BOTTOM OF CURB
FIN FLR	FINISH FLOOR
ELEV	ELEVATION
EXIST	EXISTING

PROPOSED DESCRIPTION

	CONCRETE
	PAVEMENT



EXCURSION BAY ADDITIVE BID ITEM #1 DETAIL
SCALE: 1"=10'-0"

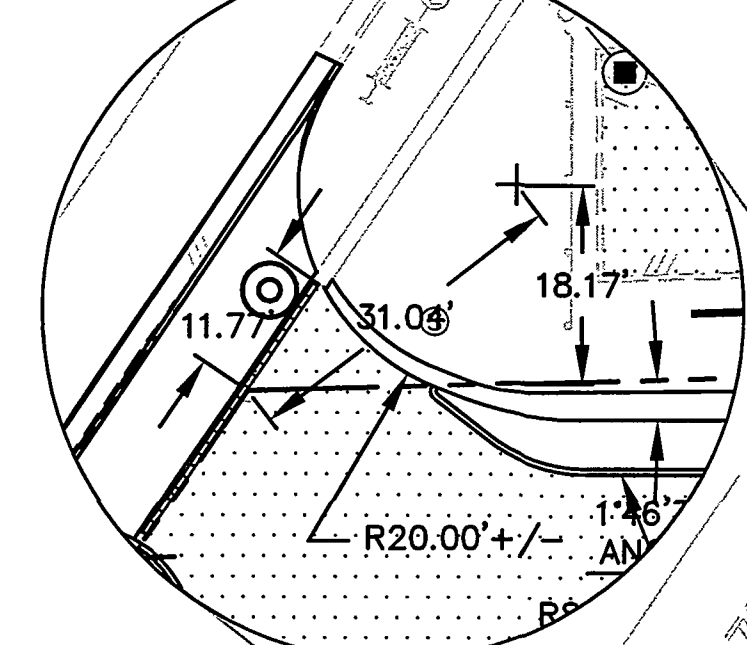
SITE SUMMARY

PARCEL
ZONING
PROPOSED USE
LOT SIZE (TOTAL ALL LOTS) (NO MIN)
AREA DEDICATED TO PUBLIC R/W
FRONTAGE (0' MIN.)
LOT COVERAGE
FLOOR AREA RATIO (15.0 MAX.)
YARD REQUIREMENTS
HEIGHT OF STRUCTURES (NO MAX.)
OPEN SPACE RATIO
PARKING

TAX ID NO 1020310
C-3
FIRE & ADMIN STATION
56.77' ON DAY AVE.
320.88' ON FRANKLIN ROAD
112.80' ON ELM AVE.
NO MAXIMUM
0.91
FRONT = 0', REAR = 0', SIDE = 0'
40'-4"
NO MINIMUM
VISITOR/EMPLOYEE (ON SITE) = N/A
VISITOR/EMPLOYEE (OFF SITE) = N/A
H/C = 1
LOADING = 1
FLEET VEHICLES = 9
TOTAL = 35

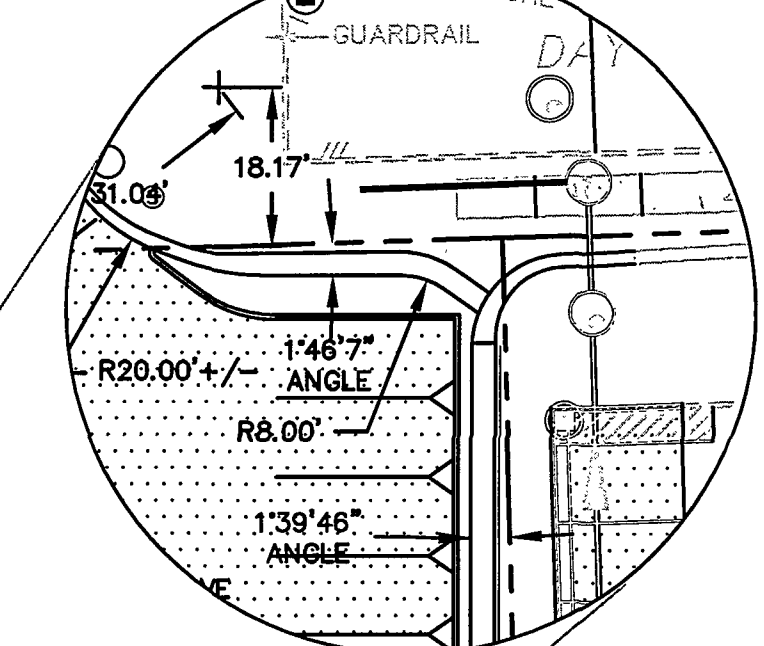
WALL CORNER LOCATION

NO SCALE



WALL CORNER LOCATION

NO SCALE



FIRE FLOW DATA:

INTERSECTION ELM AVENUE AND FRANKLIN ROAD.

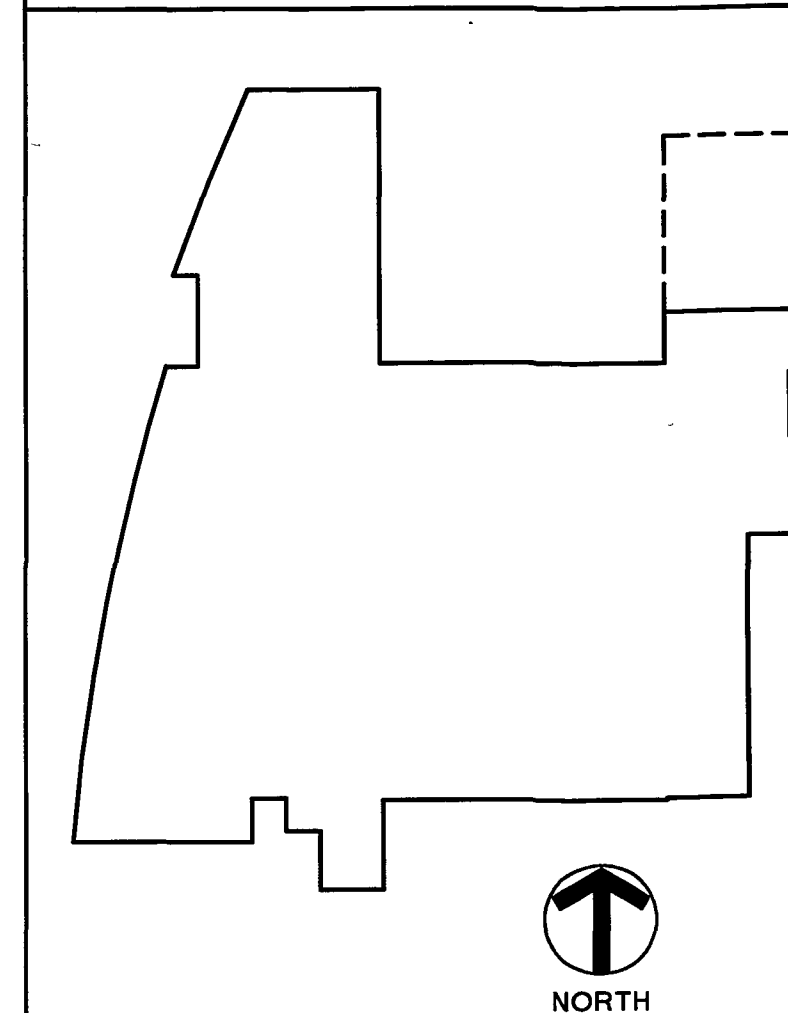
FLOW = 1230 GPM
STATIC PRESSURE = 70 PSI
RESIDUAL PRESSURE = 64 PSI

INFO PROVIDED BY CITY WATER DEPT. ON
FEBRUARY 11, 2004 AND BASED ON HYDRANT
LOCATED AT 1ST STREET AND MOUNTAIN AVENUE.

GEN. NOTES (CONTD.)

- GAS COMPANY SHALL TRENCH AND INSTALL GAS LINE FROM TAP TO PROPERTY LINE. ON-SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCHING FOR GAS LINE SUCH THAT GAS PIPING IS 24" BELOW ADJACENT WATER LINE. GAS COMPANY SHALL EXTEND PIPE FROM PROPERTY LINE TO METER LOCATION. CONTRACTOR SHALL COORDINATE GAS METER SETTING WITH CONCRETE SLAB INSTALLATION. GAS METER SETTING BY GAS COMPANY.
- FOR ANY NEW WORK ASSOCIATED WITH CURB, CURB & GUTTER, OR CONCRETE ENTRANCES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ASPHALT SAW CUTTING, MILLING, REMOVAL, PATCHING, AND REPLACEMENT WITHIN DAY AVENUE, FRANKLIN ROAD, OR ELM AVENUE THAT IS REQUIRED FOR PROPER INSTALLATION IN ACCORDANCE WITH CITY OF ROANOKE STANDARDS.
- SEE SHEET L-1.1 FOR CONCRETE SCORING PATTERNS.
- CONTRACTOR TO SUPPLY CITY WITH TRAFFIC CONTROL PLAN PRIOR TO ANY WORK WITHIN THE RIGHT OF WAY OF FRANKLIN OR ELM AVE.

KEY PLAN



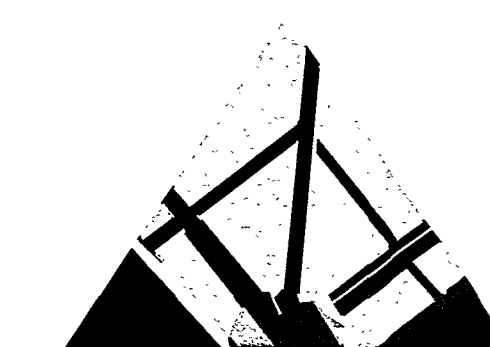
GENERAL NOTES

- NEW SANITARY MH IN ALLEY SHALL SERVE THE BEHAVIORAL CENTER. LOCATION OF EXISTING SS LATERAL IS APPROXIMATE. FIELD ADJUST AS NECESSARY. A 1.0% SLOPE WAS ASSUMED FOR DETERMINING CONNECTION INVERT TO NEW MH. ADJUST LATERAL SLOPE TO MEET NEW CONNECTION. COORDINATE ALIGNMENT OF NEW 8" SS WITHIN 20' EASEMENT WITH THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO INSTALLATION.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS TO PERFORM WORK WITHIN ALLEY AND PUBLIC RIGHT-OF-WAY.
- NEW INLINE MANHOLE ON EXISTING 8"SS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SANITARY SEWER INSTALLATION ALL THE WAY TO THE EXISTING MAIN. THE WESTERN VIRGINIA WATER AUTHORITY WILL BE RESPONSIBLE FOR THE TAP ONLY.
- ALL DIMENSIONS AND CURB RADII SHOWN SHALL BE MEASURED TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- REFER TO THE SPECIFICATIONS FOR COORDINATION OF UTILITY CONNECTIONS, FEES, AND PERMITS.
- NO MORE THAN 500LF OF TRENCH SHALL BE OPEN AT ONE TIME.
- CONTRACTOR SHALL CONTACT THE DEVELOPMENT INSPECTOR, WINSTON CORBETT, AT 540-853-1227, 48 HOURS BEFORE THE START OF CONSTRUCTION FOR A PRE-CONSTRUCTION MEETING.
- OBTAIN AND PAY FOR ALL STREET OPENING PERMITS REQUIRED BY THE CITY FOR UTILITY OR RETAINING WALL INSTALLATIONS.

Cole + Russell Architects

Architecture
Engineering
Interior Design
Landscape Architecture
Construction Administration

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Channahon, Ohio 45202
(615) 721-0090



SPECTRUM DESIGN

10 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.6001
ROANOKE • MARION

Roanoke Fire Station & Fire Administration Building

CITY OF ROANOKE
PLAN NUMBER: 6548
BID NUMBER: 05-04-01

SPECTRUM DESIGN PROJECT NO. 03035

DATE: MAY 29, 2005
DESIGN: MAR
DRAWN: MF
CHECKED: DATE
REVISIONS: NUMBER DATE

SHEET TITLE

CIVIL -
DIMENSIONAL &
UTILITY PLAN

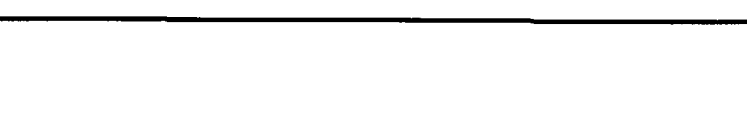
C-1.2

BZA NOTE: BZA No. 34-04V-A: A request was made and appeal granted on February 8, 2005 by the Board of Zoning Appeals to allow accessory structures (dumpster enclosure wall and mechanical/electrical equipment) to be located closer to a public street than the main building with the conditions that the transformer, generator and dumpster all be enclosed with materials that are compatible with the building design, such as masonry materials or architectural metal screening, and that the design be in substantial conformance with the site plan.

RECORD DRAWINGS

WALL CORNER LOCATION

NO SCALE



WALL CORNER LOCATION

NO SCALE

