GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF ROANOKE ENGINEERING DIVISION IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
- B. CLEARING AND GRUBBING.
- C. SUBGRADE EXCAVATION.
- D. INSTALLING STORM SEWERS OR CULVERTS.
- E. INSTALLING CURB AND GUTTER FORMS. F. PLACING CURB AND GUTTER.
- G. PLACING OTHER CONCRETE
- H. PLACING GRAVEL BASE.
- I. PLACING ANY ROADWAY SURFACE.

EROSION AND SILTATION CONTROL POLICIES.

SHALL BE PROVIDED ON-SITE.

- J. INSTALLING WATER LINES.
- K. INSTALLING SANITARY SEWER LINES. (N/A) = NOT ANITICIPATED PORTION FOR THIS PLAN

MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED FOR PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED IN

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF THE ROADWAY BEFORE PLACING EMBANKMENT

PAVEMENT SECTIONS ON APPROVED PLANS ARE BASED ON A MINIMUM CBR OF 10. CBR TESTS ARE TO BE ACQUIRED BY THE OWNER AND SUBMITTED TO THE CITY OF ROANOKE ENGINEERING DIVISION PRIOR TO PLACEMENT. CBR VALUES LESS THAN 10 WILL REQUIRE REVISED PAVEMENT SECTIONS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

(N/A) VDOT STD. HR-1 HANDRAIL IS REQUIRED ON ALL WALLS EXCEEDING 4.0'

(N/A) LOCATION OF GUARD RAILS SHALL BE DETERMINED AT A JOINT FIELD

INSPECTION BY THE CITY OF ROANOKE. ALL SPRINGS SHALL BE CAPPED AND PIPED TO THE NEAREST STORM SEWER OR NATURAL WATERCOURSE. THE PIPE SHALL BE MINIMUM OF 6" DIAMETER

AND CONFORM TO VDOT STANDARD SB-1 (AS REVISED). STANDARD STREET AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED AT

EACH INTERSECTION BY THE DEVELOPER PRIOR TO FINAL STREET ACCEPTANCE. CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE MRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS. ADVISING THEN THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE, AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

(N/A) 100 YEAR FLOODWAY AND FLOOD PLAIN SHALL BE SHOWN WHERE APPLICABLE.

ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF ROANOKE INSPECTORS. GRADE STAKES SHALL BE SET FOR ALL CURB AND GUTTER. CULVERT. SANITARY SEWER. AND STORM SEWER.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS, AND AS SHOWN BY AVAILABLE RECORDS.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON

ALL STORM DRAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

APPROVED: AGENT - CITY OF ROANOKE PLANNING COMMISSION CITY ENGINEER - CITY OF ROANOKE, VIRGINIA

ENGINEER'S NOTES

T.P. PARKER & SON ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

T.P. PARKER & SON DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

DATED JANUARY 2002

SOURCE OF TOPOGRAPHIC MAPPING IS T. P. PARKER & SON GROUND SURVEYS

BOUNDARY SURVEY WAS PERFORMED BY T. P. PARKER & SON

DATED DECEMBER 2000. SUBDIVISION MAP DATED JANUARY 31. 2003. BENCHMARK(S) BASED UPON THE ASSUMED DATUM. ONE BENCHMARK LOCATED AT THE N.E.

CORNER OF THE INTERSECTION OF BELLE AVENUE, N.E. AND MECCA STREET, N.E.; ANOTHER BENCHMARK IN AEP POLE #255-1133 LOCATED ON BELLE AVENUE, N.E. BETWEEN LOTS 6 & 7.

SEWER NOTES

THIS PROJECT INCLUDES CONNECTION TO EXISTING PUBLIC SANITARY SEWER & EXTENSION OF PUBLIC SEWER WITHIN A PUBLIC EASEMENT. SANITARY SEWER LATERALS SHALL BE EXTENDED TO THE EDGE OF THE EASEMENT & CLEANOUTS SHALL BE INSTALLED WITHIN THE SIDEWALK.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

HOUSE CONNECTIONS ARE TO BE MADE WITH 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT OF WAY.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND. THE TRANSITION FROM DUCTILE IRON TO ASBESTOS CEMENT OR CONCRETE PIPE SHALL BE MADE WITH AN ADAPTOR COUPLING IN THE RIGHT OF WAY.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ROANOKE FOR THE CONNECTION OF ALL LATERALS TO THE EXISTING PUBLIC SEWER LINE AND EXISTING LATERALS.

WATER NOTES

THIS PROJECT INCLUDES CONNECTION TO AN EXISTING SIX (6) INCH WATERLINE IN BELLE AVENUE. THE PUBLIC WATER LINE SHALL BE INSTALLED WITHIN THE PUBLIC EASEMENT. WATER LATERALS SHALL EXTEND TO THE EDGE OF THE PUBLIC EASEMENT AND WATER METERS SHALL BE INSTALLED WITHIN THE SIDEWALK.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION

APPLICATION FOR UTILITIES TO SERVE DEVELOPMENT REFERENCE

LAND DISTURBANCE ISSUES

PLANS WERE PREVIOUSLY SUBMITTED TO THE CITY OF ROANOKE FOR A LAND DISTURBANCE PERMIT. ITEMS SHOWN ON THE PLANS PREVIOUSLY SUBMITTED HAVE BEEN INCORPORATED INTO THIS SET OF PLANS.

> F.M. Management, LLC ATTN: Chad McGhee PO BOX 387 Cloverdale VA 24077 Phone: 314-3783

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY OF ROANOKE DEPARTMENT OF ZONING AND DEVELOPMENT (540) 853-1325 OR 853-1730 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.

STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING. ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT—OF—WAY (STREETS. ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE. (REFERENCE IS DIRECTED TO BELLE AVENUE, N.E. & MECCA STREET, N.E.)

PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION—RELATED FORESS FROM THE SITE. THE SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY OF ROANOKE SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD. DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS ON CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY: THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS. OR THE ISSUANCE OF A STOP WORK ORDER.

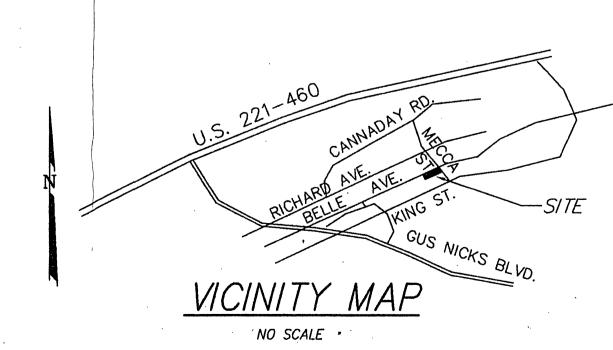
SITE ZONING INFORMATION

THE SUBJECT SITE IS 0.919 ACRES, ZONED RM-1 WITH SPECIAL EXCEPTION TO ALLOW THE CONSTRUCTION OF TEN (10) TOWNHOUSES, SUBJECT TO BZA IMPOSED CONDITIONS AS SHOWN BY THE ORDER OF THE BOARD OF ZONING APPEALS: APPEAL No

1. THAT THE PROJECT BE DEVELOPED IN SUBSTANTIAL CONFORMANCE TO THE SUBMITTED PLAN LABELED 1-A;

2. THAT THE MINIMUM REQUIRED TEN (10) FOOT WIDE LANDSCAPED BUFFER AREA, WHICH SHOULD PROVIDE A YEAR ROUND VISUAL AND NOISE OBSTRUCTION OF NOT LESS THAN SIX (6) FEET IN HEIGHT, BE PROVIDED ALONG THE ENTIRE EASTERN AND SOUTHERN PROPERTY BOUNDARIES AND THAT ADDITIONAL TREES BE ADDED INTO THE BUFFER AREAS AS NOTED BY DOTS ON PLAN 1-A; AND

3. THAT THE CONSTRUCTION IS TO BE DONE IN SUBSTANTIAL CONFORMANCE TO THE ELEVATION RENDERINGS SUBMITTED WITH THE APPLICATION, WITH THE NOTES THAT THESE UNITS ARE TWO (2) STORY WITH NO GARAGES; THAT THE FACADE OF THE TOWNHOUSE UNITS INCLUDE THE USE OF A COMBINATION OF BRICK AND VINYL MATERIALS FOR THE EXTERIOR TREATMENT OF THE UNITS; THAT SHUTTERS BE PLACED AROUND ALL THE WINDOWS: AND THAT COVERED ENTRANCE AREAS TO ALL THE UNITS BE CONSTRUCTED.

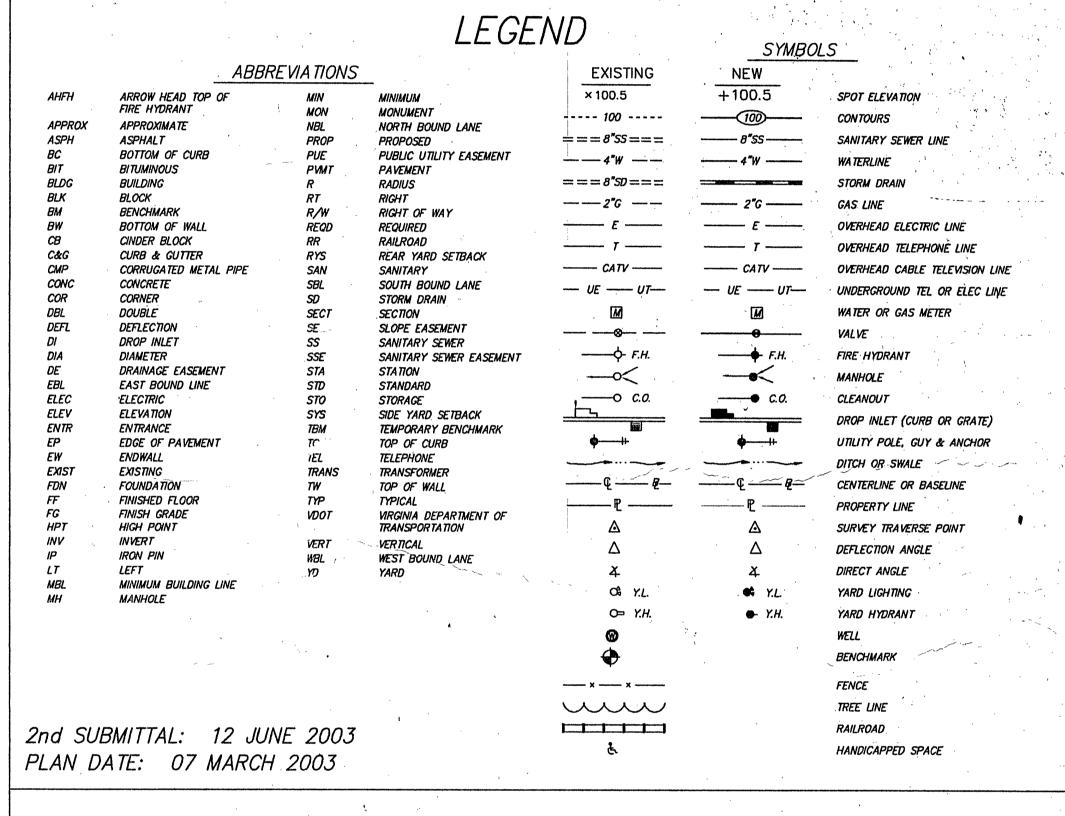


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Designed By:JJB/PJB			. /	REVISIONS	
					

CHEET MIDEV

SHEET # TITLE	
C1 COVER SHEET	
C2 RESUBDIVISION FOR FIRST CHOICE HOMES, LLC	
C3 DIMENSIONAL & UTILITY PLAN	, Y
C4 GRADING & DRAINAGE PLAN	
C5 EROSION & SEDIMENT CONTROL PLAN (PREVIOUS SUBMITTA	1)
C6 EROSION CONTROL NARRATIVE & DETAILS (PREVIOUS SUBMI	
C7 ZONING PLAN	
C8 PROFILES FOR BUILDING PADS & DETAILS	
C9 PAVEMENT PROFILES & DETAILS	
C10 STORM SEWER PROFILES & DETAILS	
C11 SANITARY SEWER & WATERLINE PROFILES	
C12 SANITARY SEWER DETAILS (CITY OF ROANOKE)	
C13 WATER DETAILS (CITY OF ROANOKE)	

ANY VARIATION FROM APPROVED PLANS MUST BE APPROVED BY THE CITY OF ROANOKE



NAME OF DEVELOPMENT

COMPREHENSIVE SITE PLAN FIRST CHOICE HOMES, LLC

LOCATION

BELLE AVENUE, N.E. CITY OF ROANOKE

OWNER

FIRST CHOICE HOMES, LLC ATTN: BUDDY SCHUMYER 6344 FAIRWAY FOREST DRIVE ROANOKE, VA 24018 PHONE: (540) 725-5352

FIRST CHOICE HOMES, LLC DEVELOPER ATTN: BUDDY SCHUMYER 6344 FAIRWAY FOREST DRIVE ROANOKE, VA 24018 PHONE: (540) 725-5352

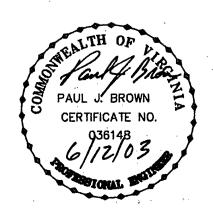
Agent, Planning Commission Any changes to this and avad plan must be coordinated with the Agent to the thanning Commission and revisions approved prior to construction.

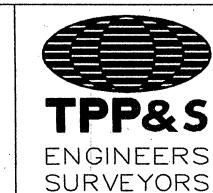
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APR 0 8 2004 CITY OF ROANOKE PLANNING BUILDING AND DEVELOPMENT

CITY OF ROANOKE TAX PARCEL

3410332





PLANNERS

T. P. PARKER & SON

816 Boulevard Post Office Box 39 Salem, Virginia 24153 Telephone: 540-387-1153 FAX: 540-389-5767

SHEET C1 OF 13