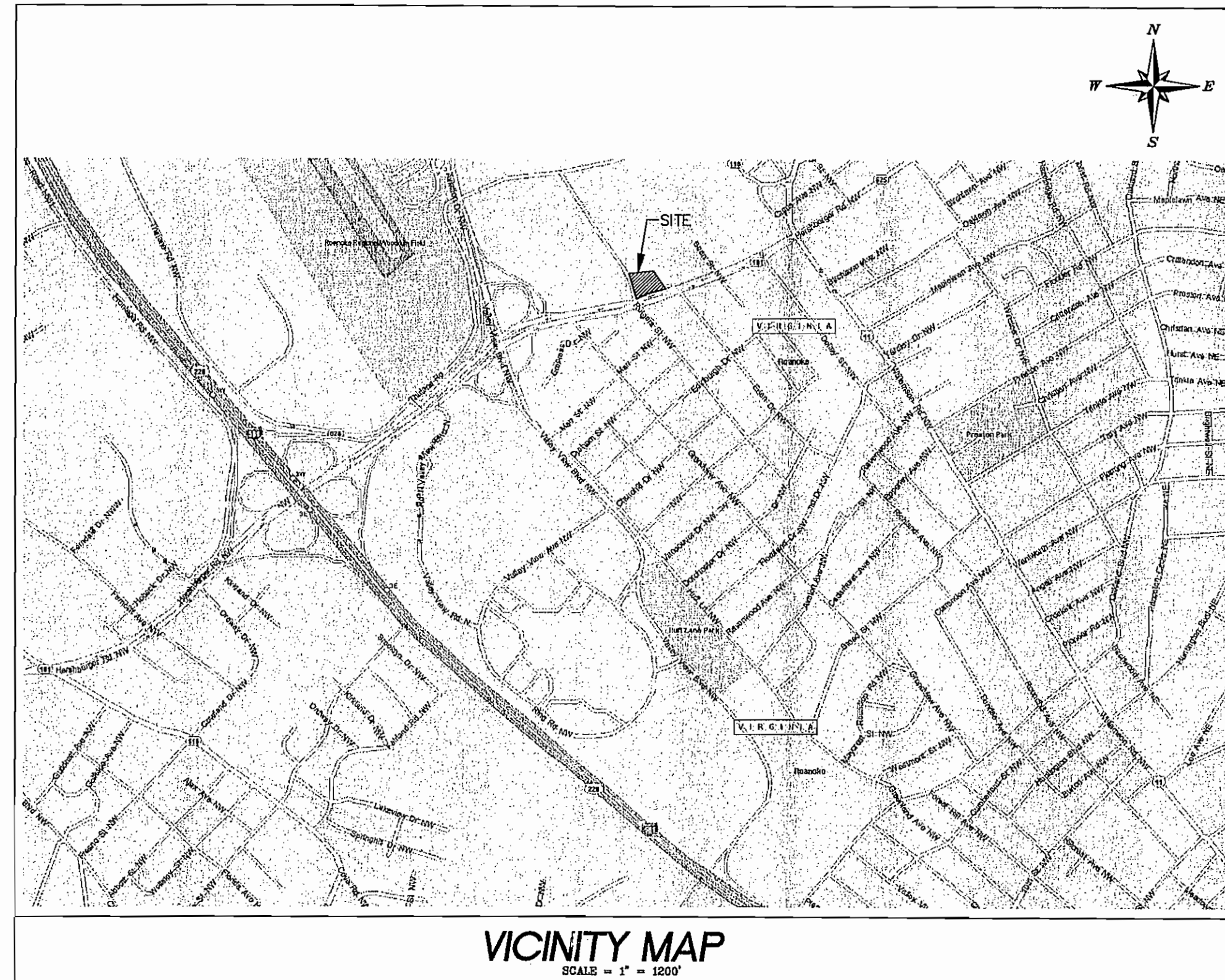


FINAL CONSTRUCTION PLAN SUBMITTAL FOR ROANOKE - FIRST CITIZENS BANK

1535 HERSHBERGER ROAD, NW
ROANOKE, VIRGINIA



REZONING PROFFERS:

CHARLES AND NORALU MICHAEL AND FAIRWAY ROANOKE, LLC
CROSSROADS MALL OUTPARCELS
JANUARY 28, 2011

1. IN ANY NEW DEVELOPMENT OF THE PROPERTIES, A MINIMUM OF FORTY (40) PERCENT OF THE GROUND FLOOR PRIMARY BUILDING FACADE SHALL BE TRANSPARENT FROM THE STREET THROUGH THE PROVISION OF GLASS. SUCH TRANSPARENCY SHALL BEING AT A HEIGHT NO GREATER THAN THREE (3) FEET ABOVE THE GRADE OF THE ADJACENT SIDEWALK OR THE FINISHED GRADE OF THE SITE. IN THE CASE OF CORNER LOTS, THE ABOVE REQUIREMENT SHALL ONLY APPLY TO ONE STREET FRONTAGE. ON THE SECOND STREET FRONTAGE A MINIMUM OF TWENTY (20) PERCENT OF THE GROUND FLOOR PRIMARY BUILDING FACADE SHALL BE TRANSPARENT FROM THE STREET THROUGH THE PROVISION OF GLASS.
2. ANY NEW DEVELOPMENT OF THE PROPERTIES SHALL CONSIST OF BUILDINGS THAT ARE FINISHED ON ALL SIDES. NO CINDER BLOCK WILL BE ALLOWED AS A FINISH MATERIAL. ALLOWABLE PRIMARY FINISH SIDING MATERIALS ARE BRICK, EXTERIOR INSULATION FINISHING SYSTEM (EIFS), STONE, SPLIT FACE BLOCK, GROUND FACE CONCRETE MASONRY UNITS (CMU), WOOD AND/OR SIMULATED WOOD PRODUCT. OTHER MATERIALS MAY BE ALLOWED AS ACCENT AND TRIM.
3. ANY NEW BUILDING CONSTRUCTED ALONG HERSHBERGER ROAD SHALL HAVE A MAIN PEDESTRIAN ENTRANCE ON AT LEAST ONE SIDE OF THE BUILDING OTHER THAN THE SIDE WHICH IS OPPOSITE THE HERSHBERGER ROAD FRONTAGE.
4. SHOULD EXPANSION OF ANY OF THE EXISTING BUILDINGS TAKE PLACE, THEN THESE PROFFERS SHALL APPLY ONLY TO THE NEWLY CONSTRUCTED PORTIONS OF THE BUILDINGS.

DEVELOPMENT PLAN APPROVED

Date: 9/5/2013
Agent, Planning Commission: [Signature]
Development Engineer: George R. [Signature]
Zoning Administrator: [Signature]

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.
CITY OF ROANOKE CONSTRUCTION NOTES

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

1. RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREET, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
2. LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
3. PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
6. STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.
9. APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
10. FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE, VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

CONTACTS

OWNER: FIRST CITIZENS BANK
100 EAST TRYON ROAD
RALEIGH, NC 27603
PHONE: (919) 716-4130
FAX: 919-716-8840
ATTN: MIKE PARKER

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE STREET
SUITE 600
RALEIGH, NC 27601
PHONE: (919) 835-1494
FAX: (919) 653-5847
ATTN: PETER A. BISHOP, P.E.

ARCHITECT: WINSTEAD WILKINSON ARCHITECTS
600 WADE AVENUE
RALEIGH, NC 27605
PHONE: (919) 832-2878
FAX: (919) 832-7901
ATTN: CARL WINSTEAD, AIA

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE STREET
SUITE 600
RALEIGH, NC 27601
PHONE: (919) 835-1494
FAX: (919) 653-5847
ATTN: SAL MUSARRA, RLA, ASLA, LEED AP

SITE LIGHTING: DIVERSIFIED CONSULTING GROUP, PLLC
4671 WESTERN BOULEVARD
RALEIGH, NC 27606
PHONE: (919) 859-8183
FAX: (919) 859-8991
ATTN: BILL CLARK, P.E.

GENERAL INFORMATION

FIRST CITIZENS BANK DEVELOPMENT INFORMATION:

NAME OF DEVELOPMENT: FIRST CITIZENS BANK
SITE ADDRESS: 1535 HERSHBERGER ROAD, NW
ROANOKE, VA 24012
PROPERTY TAX ID #: 6660105, 6660126
ZONING: CG(c), COMMERCIAL GENERAL, CONDITIONAL
DEED REFERENCE: X
CURRENT USE: FINANCIAL INSTITUTION
PROPOSED USE: FINANCIAL INSTITUTION (COMMERCIAL)
REFUSE COLLECTION: PRIVATE SERVICE, NO REFUSE DUMPSTER WILL BE LOCATED ON THE PROJECT SITE FOR SECURITY PURPOSES.

DISTURBED AREA: 1.12 ACRES

CALL BEFORE YOU DIG... IT'S THE LAW
CALL V.A. ONE-CALL (1-800-552-7001)
FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING
VIRGINIA GENERAL STATUTE 56-265.14-56-265.32.

SHEET LIST TABLE

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C02	EXISTING CONDITIONS PLAN
C03	DEMOLITION PLAN
C04	SITE PLAN
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C05A	GRADING, DRAINAGE AND PHASE 2 EROSION CONTROL PLAN
C06	UTILITY PLAN
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ES1	SITE LIGHTING PLAN
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ES3	POLE LIGHT CUT SHEET

REVISIONS

NO.	DATE	DESCRIPTION	BY
3	6/10/13	REVISED PER 3rd ROUND CITY COMMENTS	JDK
2	5/1/13	REVISED PER 2nd ROUND CITY COMMENTS	JDK
1	4/2/13	REVISED PER 1ST ROUND CITY COMMENTS	JDK

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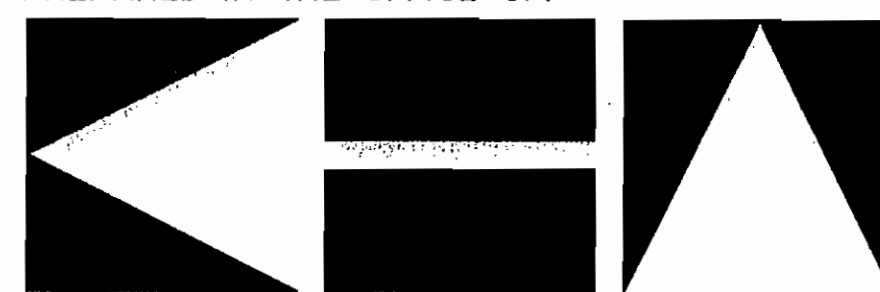
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DATE:
FEBRUARY 22, 2013

Kimley-Horn and Associates, Inc.
No. 033223
6/10/13
PETER A. BISHOP
PROFESSIONAL ENGINEER

SEAL:
JOB NUMBER:
011737195

PREPARED IN THE OFFICE OF:



P.O. BOX 33068 - RALEIGH, NORTH CAROLINA 27636-3068
PHONE: (919) 677-2000

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