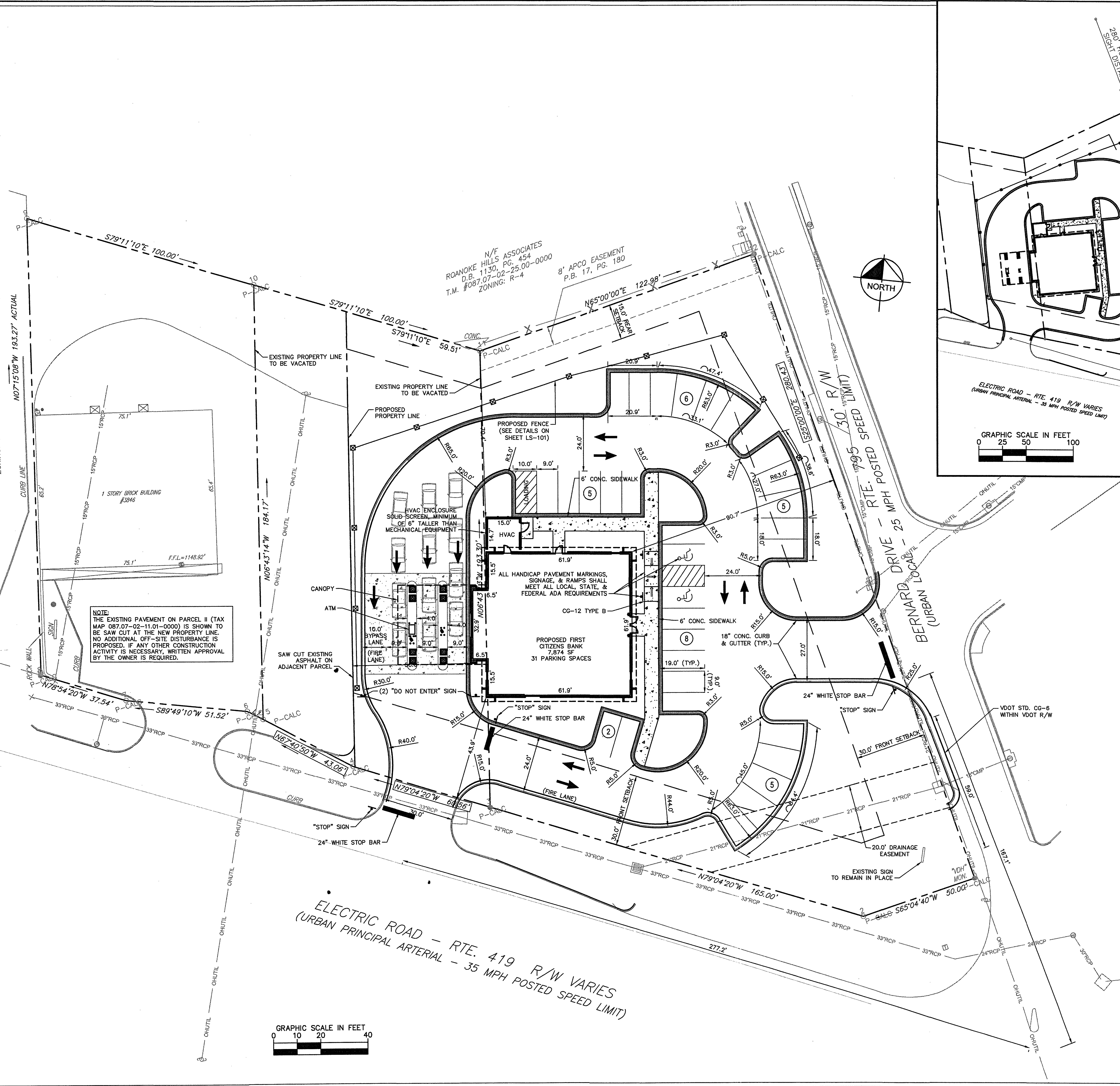


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BRIAR OAK INVESTMENTS IV LP  
D.B. 087-07-02-11.01-0000  
T.M. #087-07-02-12.01-0000  
ZONING: C-2



**HATCH LEGEND**

ASPHALT PAVEMENT (PARKING SPACES AND DRIVE AISLES)

CONCRETE PAVEMENT (DRIVE THRU)

**SITE LEGEND**

PAVEMENT MARKING DIRECTIONAL ARROWS

NEW SIGN AS NOTED (M.U.T.C.D.)

FACE OF CURB RADIUS (TYP. ALL)

CATCHING CURB

SPILL CURB

PARKING SPACES

EXISTING CONCRETE/SIDEWALK

PROPOSED CONCRETE/SIDEWALK

HANDICAP RAMP (DEPRESSED WALK)

**PROJECT INFORMATION:**

PROJECT LOCATION/ADDRESS:  
3862 ELECTRIC ROAD  
ROANOKE, VA 24018

OWNER/DEVELOPER:  
FIRST CITIZENS BANK  
100 EAST TRYON ROAD  
RALEIGH, NC 27603  
PHONE: (919) 716-4130  
FAX: (919) 716-8840  
ATTN: MIKE PARKER

SITE PLAN PREPARER/CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: MARK BOYD, P.E.  
1700 WILLOW LAWN DRIVE, SUITE 200  
RICHMOND, VA 23230  
TELEPHONE: (804) 673-3882

PROPERTY ID #: 087-07-02-10.00-0000, 087-07-02-11.00-0000

ZONING: C-2, GENERAL COMMERCIAL  
CURRENT USE: FINANCIAL INSTITUTION  
PROPOSED USE: FINANCIAL INSTITUTION

REFUSE COLLECTION: PRIVATE SERVICE, NO REFUSE DUMPSTER WILL BE LOCATED ON PROJECT SITE FOR SECURITY PURPOSES.

SITE DATA	
EXISTING SITE AREA =	1.157 ACRES
PROPOSED SITE AREA =	1.157 ACRES
TOTAL DISTURBED/DENuded AREA =	1.14 ACRES
IMPERVIOUS AREA (EXISTING) =	38,327 SF
PERCENT IMPERVIOUS (EXISTING) =	76.0%
IMPERVIOUS AREA (PROPOSED) =	28,294 SF
PERCENT IMPERVIOUS (PROPOSED) =	56.1%
EXISTING USE:	FINANCIAL INSTITUTION
PROPOSED USE:	FINANCIAL INSTITUTION
BUILDING AREA:	2 STORY 1ST STORY: 4,040 SF 2ND STORY: 3,834 SF TOTAL: 7,874 SF
FLOOR TO AREA RATIO	15.6%
PROPOSED BUILDING HEIGHT	11'-11" (MEAN ROOF), 26'-7" (BUILDING) 38'-6" (TOTAL)
BUILDING CONSTRUCTION MATERIAL	BRICK
CONSTRUCTION TYPE	II-B
SETBACKS	FRONT YARD SETBACK: 30 FEET (ELECTRIC RD. & BERNARD DR.) SIDE YARD SETBACK: 0 FEET REAR YARD SETBACK: 15 FEET
TAX ID #	087-07-02-10.00-0000, 087-07-02-11.00-0000
ZONING	C-2, COMMERCIAL GENERAL
VEHICULAR PARKING REQUIRED	MINIMUM: 3.5 SPACES / 1,000 SF, (7,874/1,000) X 3.5 = 28 SPACES MINIMUM REQUIRED HC SPACES (ADA STANDARD): 2 SPACES
PARKING PROVIDED (INCLUDES 2 VAN ACCESSIBLE HC SPACES)	31 SPACES
STACKING REQUIREMENT =	12 SPACES PROVIDED
LOADING REQUIREMENT: UP TO 40,000 SF, 1 SPACE	1-10'x20' SPACE

**Kimley-Horn and Associates, Inc.**

1700 WILLOW LAWN DR, SUITE 200, RICHMOND, VA 23230  
PHONE: 804-673-3882 FAX: 804-673-3960  
WWW.KIMLEY-HORN.COM

DATE: 3/25/14

REVISIONS

No.	DATE	BY
1	1/15/14	MRB
2	3/25/14	MRB

**APPROVED**

MARK R. BOYD  
Lic. No. 046698  
PROFESSIONAL ENGINEER  
3/25/14

**SITE PLAN**

**FIRST CITIZENS BANK**

**ELECTRIC ROAD**

**PREPARED FOR**

**FIRST CITIZENS BANK**

ROANOKE VIRGINIA

SHEET NUMBER

**C07**