

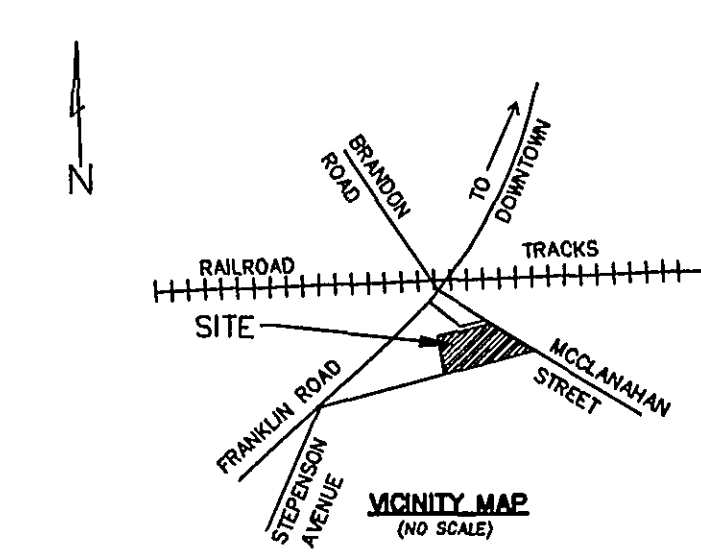
SDMH  
TOP ELEV 936.50'  
INV. OUT (18") 932.70'  
DI CATCHES GUTTER PAN  
RUN OFF ONLY

**GENERAL SITE NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- ALL WATER AND SANITARY SEWER SERVICE LINES TO BE INSTALLED PER THE CITY OF ROANOKE UTILITIES DEPARTMENT CONSTRUCTION SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ROANOKE DEVELOPMENT INSPECTOR, FOR INSTALLATION OF WATER AND SEWER SERVICES.
- THE CONTRACTOR SHALL FIELD VERIFY DEPTH OF EXISTING UTILITIES AND RELOCATE AS NECESSARY IF NEW GRADING SHOWN CAUSES UTILITY DEPTHS BELOW MINIMUM COVER REQUIREMENTS.
- SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE GUTTER ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL IRRIGATION SLEEVES SHALL BE 4" PVC. ALL LIGHTING SLEEVES SHALL BE 1 1/2" PVC. AS INDICATED. ALL SLEEVE DEPTHS SHALL BE 24 INCHES MINIMUM. (SLEEVE LOCATIONS WILL BE SHOWN ON FINAL PLANS SUBMITTAL).
- ROOF LEADERS SHALL BE TIED INTO THE PROJECT STORM DRAINAGE SYSTEM AS SHOWN.
- ALL PARKING LOT ISLANDS AND PENINSULAS SHALL BE FINISH GRADED TO PROVIDE FOR POSITIVE DRAINAGE (MINIMUM 2%).
- PLUMBING CONTRACTOR TO COORDINATE CONNECTION OF ROOF DRAINS AND YARD INLETS TO STORM DRAINAGE SYSTEM WITH GENERAL CONTRACTOR.
- ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF ROANOKE STANDARD SPECIFICATIONS AND DETAILS.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. CONTACT THE DEVELOPMENT INSPECTOR AT 540-853-1227.
- THERE ARE NO WETLANDS ON SITE.
- THE CONTRACTOR SHALL OBTAIN A LAND DISTURBING PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- SIGN PERMIT TO BE OBTAINED BY OTHERS.

**GENERAL NOTES**

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC UTILITIES PRIOR TO MAKING ANY ADJUSTMENTS TO THE WATER OR SEWAGE SYSTEMS.
- THE CONTRACTOR SHALL NOTIFY THE DEVELOPMENT INSPECTOR AT LEAST 72 HOURS PRIOR TO STARTING WORK ON THE PROJECT.
- A PERMIT MUST BE OBTAINED FROM THE OFFICE OF THE ENGINEER PRIOR TO DOING ANY UTILITY WORK WITHIN EXISTING RIGHT-OF-WAY.
- ADEQUATE SIGHT DISTANCE, AS REQUIRED BY THE TRAFFIC ENGINEER, SHALL BE REQUIRED AT ALL INTERSECTIONS AND ON ALL ROADWAYS INCLUDED IN THIS DEVELOPMENT.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT OR EXTERIOR WALL OF BUILDING, UNLESS OTHERWISE NOTED.
- PARKING LOT PAVING SHALL CONSIST OF: 8" OF AGGREGATE TYPE 1 #21A OR #21B, 2" IM-1 BINDER COURSE, AND 1" SM-2A SURFACE COURSE IN VEHICULAR TRAVEL LANES AND 6" OF AGGREGATE TYPE 1 #21A OR #21B, 2" IM-1 BINDER COURSE, AND 1" SM-2A SURFACE COURSE IN VEHICLE PARKING SPACES. ALL BITUMINOUS PAVEMENTS AND BASE MATERIAL SHALL CONFORM TO VDOT STANDARDS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY MISS UTILITY LOCATION SERVICE AT 1-800-552-7001 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OF WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
- ALL CONCRETE, BITUMINOUS PAVEMENT AND BASE MATERIAL SHALL CONFORM TO VDOT STANDARDS.
- ALL CONCRETE CURB AND GUTTER SHOWN SHALL BE 2'-0", UNLESS OTHERWISE SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.
- CONTRACTOR SHALL INSTALL HANDICAP RAMPS PER ADA STANDARDS AS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR RELOCATING EXISTING LANDSCAPING AND COORDINATION WITH OWNER FOR THE INSTALLATION OF DRIVE-THRU VACUUM TUBES.



**PROJECT INFORMATION**

**FCB DEVELOPMENT INFORMATION:**

NAME OF DEVELOPMENT: FIRST CITIZENS BANK  
ROANOKE, VIRGINIA  
APPLICANT NAME: FIRST CITIZENS BANK  
P.O. BOX 27131 MAIL CODE CTW13  
RALEIGH, NC 27611-7131  
PHONE No. (919) 716-8239  
P.O.C. - MR. THOMAS B. MORRIS  
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
P.O. BOX 33068  
RALEIGH, N.C. 27636-3068  
PHONE No. (919) 677-2164  
P.O.C. - PETER A. BISHOP, PE

LOT SIZE: 1.08 AC

**FCB PARKING SUMMARY**

TOTAL REQUIRED PARKING (1/300 SQ. FT.) 5  
(1,514 SF. / 300 = 5.05 (5))  
REGULAR SPACES PROVIDED 21  
HANDICAP SPACES PROVIDED (1 VAN) 1  
TOTAL PARKING SPACES PROVIDED 22

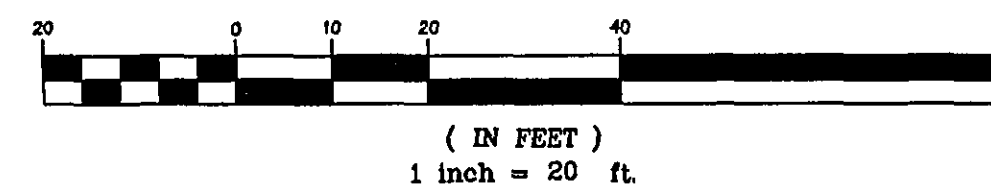
**FCB LEASE AREA ZONING INFORMATION:**

EXISTING ZONING: C2  
EXISTING LAND USE: VACANT  
PROPOSED LAND USE: FINANCIAL INSTITUTION (BRANCH BANK)  
ADJACENT ZONING: C2  
BUILDING SQUARE FOOTAGE 1,514 SQ. FT.  
BUILDING HEIGHT: 24'-5"  
EXISTING IMPERVIOUS AREA = 41,919 SF  
EXISTING PERVIOUS AREA = 4,935 SF  
EXISTING PERCENT PERVIOUS = 90%  
PROPOSED IMPERVIOUS AREA (INCLUDES BUILDING) = 26,741 SF  
PROPOSED PERVIOUS AREA = 20,097 SF  
PROPOSED PERCENT IMPERVIOUS = 57%  
TOTAL DISTURBED AREA = 1.03 ACRES  
REFUSE COLLECTION: PRIVATE SERVICE

**SITE DATA**

SITE ADDRESS: 510 MCCLANAHAN STREET  
TOTAL SITE AREA 1.08 ACRES  
ZONING C-2  
BUILDING GROSS FLOOR AREA 1514 SF±  
DAILY TRIP GENERATION 650 VEHICLES/DAY  
PM PEAK TRIP GENERATION 83 VEHICLES/HR  
BUILDING HEIGHT 24' - 5"  
EXISTING IMPERVIOUS AREA 41,919 SF  
EXISTING PERVIOUS AREA 4,935 SF  
EXISTING PERCENT PERVIOUS 90%  
PROPOSED IMPERVIOUS AREA (INCLUDES BUILDING) 26,741 SF  
PROPOSED PERVIOUS AREA 20,097 SF  
PROPOSED PERCENT PERVIOUS 57%  
PARKING REQUIREMENTS  
1 SPACE PER 300 SF (1,514 SF x 1/300 SF= 5.05)  
TOTAL SPACES REQUIRED 5 SPACES  
TOTAL SPACES PROVIDED 22 SPACES  
(INCLUDES 1 HC)  
BUILDING SETBACKS  
FRONT 25'  
SIDE 0'  
REAR 25'  
REVERSED FRONT 12.5'

**GRAPHIC SCALE**



**MAP NOTE:**

ALL EXISTING BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION TAKEN FROM A MAP PREPARED BY LMW, P.C. 102 ALBEMARLE AVENUE, ROANOKE VIRGINIA 24013 TITLED "ADNIL PROPERTIES, L.L.C." DATED JULY 22, 2003.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

CLIENT: **FIRST CITIZENS BANK**

TITLE: **SITE PLAN**

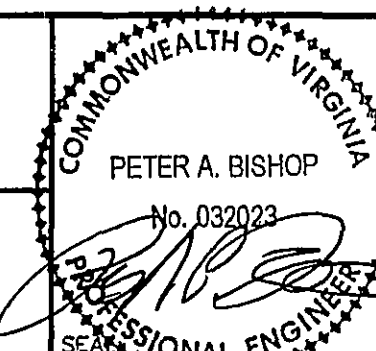
PREPARED IN THE OFFICE OF:



**Kimley-Horn  
and Associates, Inc.**

P.O. BOX 33068 - RALEIGH, NORTH CAROLINA 27636-3068  
PHONE: (919) 677-2000 FAX: (919) 677-2050

REV. No.	REVISION	DATE	DRAWN BY	CHECKED BY
2	REVISED PER CITY COMMENTS	10/27/03	MRA	WSH
1	CITY COMMENTS	10/20/03	MRA	WSH
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DATE: 9/26/03  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: N/A  
DRAWN BY: MRA  
DESIGNED BY: WSH  
CHECKED BY: PAB  
PROJECT: **McCLANAHAN STREET  
ROANOKE, VA**  
ATTACHED REFERENCE FILES: JOB NUMBER: 011737090 SHEET NUMBER: C2 OF 5