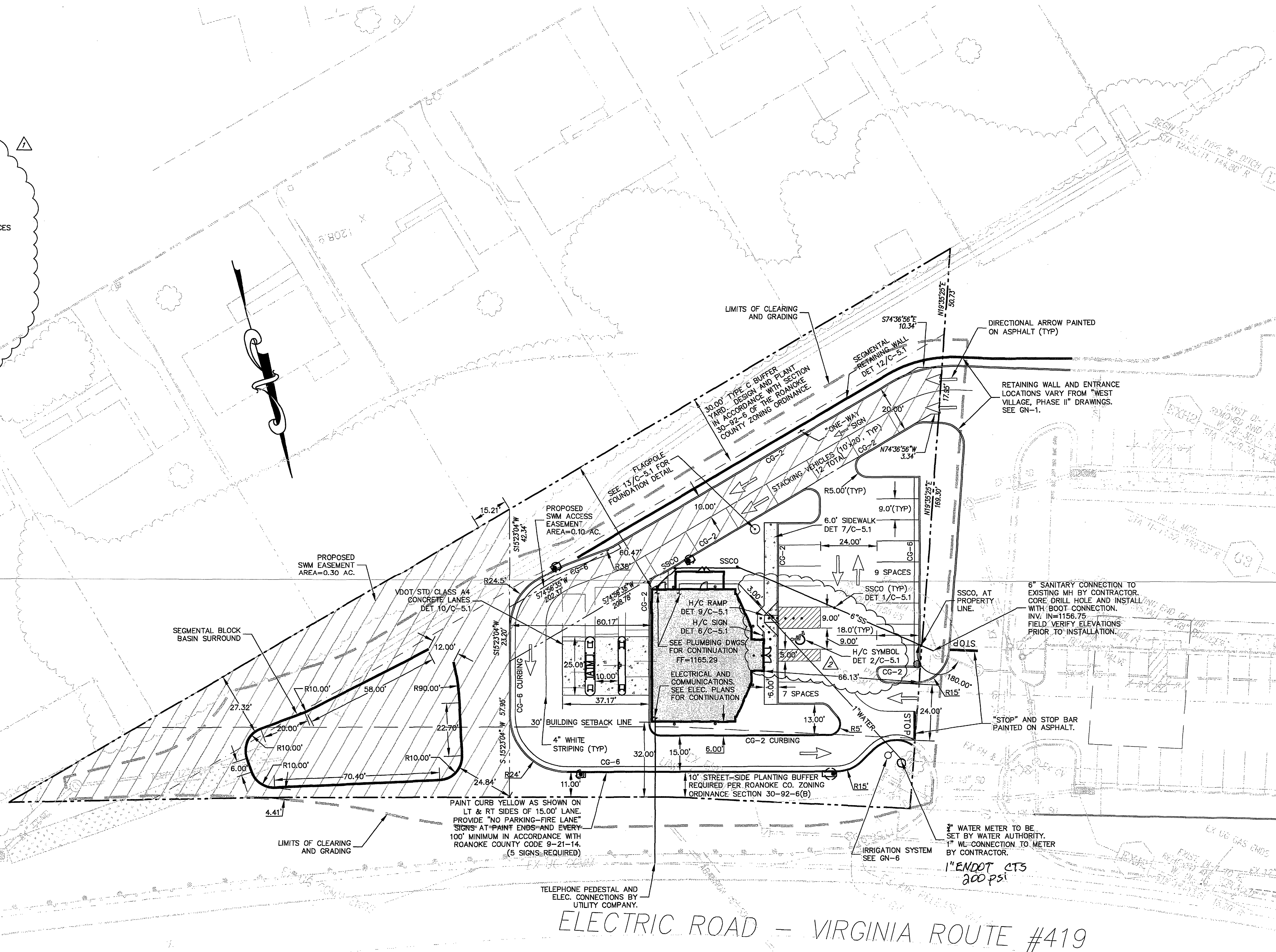
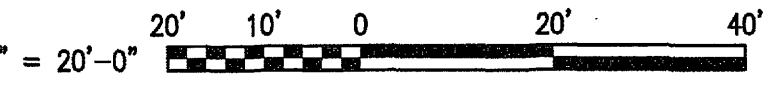


**SITE SUMMARY**  
PROPOSED USE: FINANCIAL INSTITUTION  
ZONING: C2  
REQUIRED LOT SIZE: 15,000 SF  
PROVIDED LOT SIZE: 1.03 AC (45033.9 SF)  
REQUIRED ROAD FRONTAGE: 75 FT  
PROVIDED ROAD FRONTAGE: 437.2 FT  
TOTAL BLDG AREA (PROPOSED): 2,396.8 SF  
MINIMUM FRONT YARD SETBACK: 30 FT  
MINIMUM SIDE YARD SETBACK: 0 FT  
MINIMUM REAR YARD SETBACK: 15 FT  
BLDG COVERAGE ALLOWABLE: 50%  
BLDG COVERAGE (EXISTING): 0.0%  
BLDG COVERAGE (PROPOSED): 5.3%  
LOT COVERAGE ALLOWABLE: 90%  
LOT COVERAGE (EXISTING): 0.0%  
LOT COVERAGE (PROPOSED): 41.9%  
PARKING REQUIRED: 3.5 PER 1000 S.F.  
TOTAL REQUIRED: 2396.8 SF/1000 SF \* 3.5 SPACES = 8.4 SPACES  
TOTAL PROVIDED: 16 SPACES  
STACKING SPACES REQUIRED: 12 VEHICLES  
STACKING SPACES PROVIDED: 12 VEHICLES  
H/C SPACES REQUIRED: 1 SPACE  
H/C SPACES PROVIDED: 1 SPACE  
LOADING SPACES REQUIRED: 1 SPACE  
LOADING SPACES PROVIDED: 1 SPACE  
SEPARATE LOADING AREA NOT DESIRED.  
EXTRA PARKING SPACES WILL PROVIDE  
AMPLE AREA WHEN LOADING IS REQUIRED.  
BUILDING HEIGHT ALLOWABLE: 45'-0"  
BUILDING HEIGHT PROPOSED: 28'-3"  
REQUIRED BUFFER TYPES: C (OPTION 2) STREET SIDE PLANTINGS  
SEE ROANOKE CO. ZONING SECTION 30-92-6  
CROWN COVERAGE REQUIRED: 35% (0.35 \* 1.03 ACRES) = 0.36 ACRES  
CROWN COVERAGE PROPOSED: 0.53 ACRES = (0.53 / 1.03) = 51%



**LEGEND**

..... ACCESSIBLE ROUTE



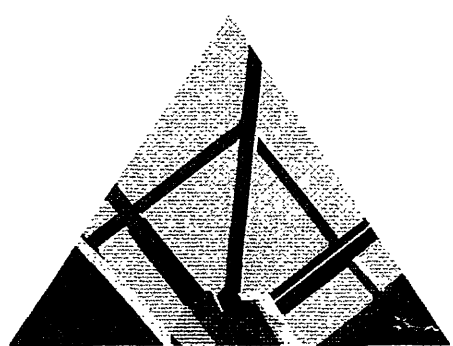
**REVISION NOTES:**

1. STORMWATER MANAGEMENT ACCESS EASEMENT MODIFIED.
2. SEGMENTAL BLOCK BASIN SURROUND ADDED (2.5' MAXIMUM HEIGHT).
3. MODIFIED HANDICAPPED PARKING SPACE AND SIDEWALK CONFIGURATION. ONE PARKING SPACE REMOVED, 5' STRIPED SPACE ADDED.
4. FIRE-LANE MARKINGS ADDED, REQUIRES 5 SIGNS AND 240 L.F. OF YELLOW PAINT.
5. NOTES REGARDING REQUIRED LANDSCAPING AREAS ADDED.
6. ADDITIONAL STOP BAR AND "STOP" TO BE PAINTED AT ADJACENT ACCESS LANE AS SHOWN.

**KEY PLAN**

**GENERAL NOTES**

- GN-1: OFFSITE PORTIONS OF CURBING, PAVING, AND RETAINING WALL WILL BE COMPLETED BY ADJACENT DEVELOPER. DESIGN CHANGES REQUIRED FOR THE REAR ENTRANCE AND RETAINING WALL EXTENSION SHALL BE COORDINATED WITH THE ADJACENT DEVELOPER.
- GN-2: ALL BUILDING AND BUILDING RELATED COMPONENTS SHALL BE BASED UPON DIMENSIONS PROVIDED ON ARCHITECTURAL PLANS.
- GN-3: CONSTRUCTION LAYOUT SHALL BE PERFORMED BY A LICENSED SURVEYOR UTILIZING ELECTRONIC DRAWING FILES PROVIDED BY THE A/E.
- GN-4: ALL RADII SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- GN-5: SEE SPECS FOR PAVEMENT MARKING AND SIGNAGE.
- GN-6: PROVIDE "FAKE ROCK" IRRIGATION SYSTEM HOUSING. INCLUDE POWER, CONTROLS, HEAT AND PUMPS WITHIN HOUSING. ALONG WITH RPZ BACKFLOW PREVENTION DEVICE AND EXCLUSION METER. COMPLETE IRRIGATION SYSTEM DESIGN INCLUDING ALL EQUIPMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ALL SODDED OR LANDSCAPED AREAS SHALL BE IRRIGATED. FINAL LOCATION OF "FAKE ROCK" HOUSING SHALL BE DETERMINED BY THE ARCHITECT.
- GN-7: REQUIRED 30' BUFFER YARD MAY BE DISTURBED DURING THE INSTALLATION OF RETAINING WALL. FINAL GRADE ABOVE RETAINING WALL SHALL BE REESTABLISHED TO MATCH PRE-EXISTING GRADE. LANDSCAPE BUFFER YARD IN ACCORDANCE WITH SECTION 30-92-6 OF THE ROANOKE COUNTY ZONING ORDINANCE.
- GN-8: ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- GN-9: ALL REFUSE SERVICE AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND-LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
- GN-10: ALL SIGNS, EXISTING OR PROPOSED, SHALL COMPLY WITH REQUIREMENTS STATED IN SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.
- GN-11: OWNER SHALL GRANT ROANOKE COUNTY A WAIVER OF LIABILITY IN THE STORMWATER MANAGEMENT EASEMENT AREA.

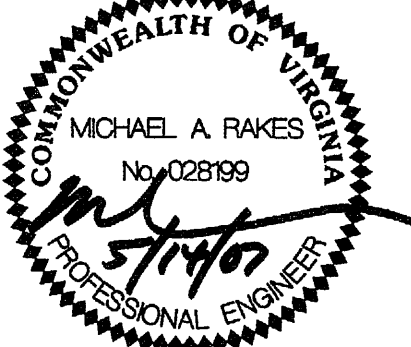


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ROANOKE • MARION

**FIRST MARKET BANK**

Route 419  
Roanoke, VA

SPECTRUM DESIGN PROJECT NO. 06128



DATE	16 JANUARY, 2007
DESIGN ARCHITECT	MAR
PROJECT ARCHITECT	MAG
CHECKED BY	
DRAWN BY	
REVISIONS	NUMBER DATE
	1 02/21/2007
	2 03/14/2007

**SHEET TITLE**

**DIMENSIONAL & UTILITY PLAN**

C-1.2