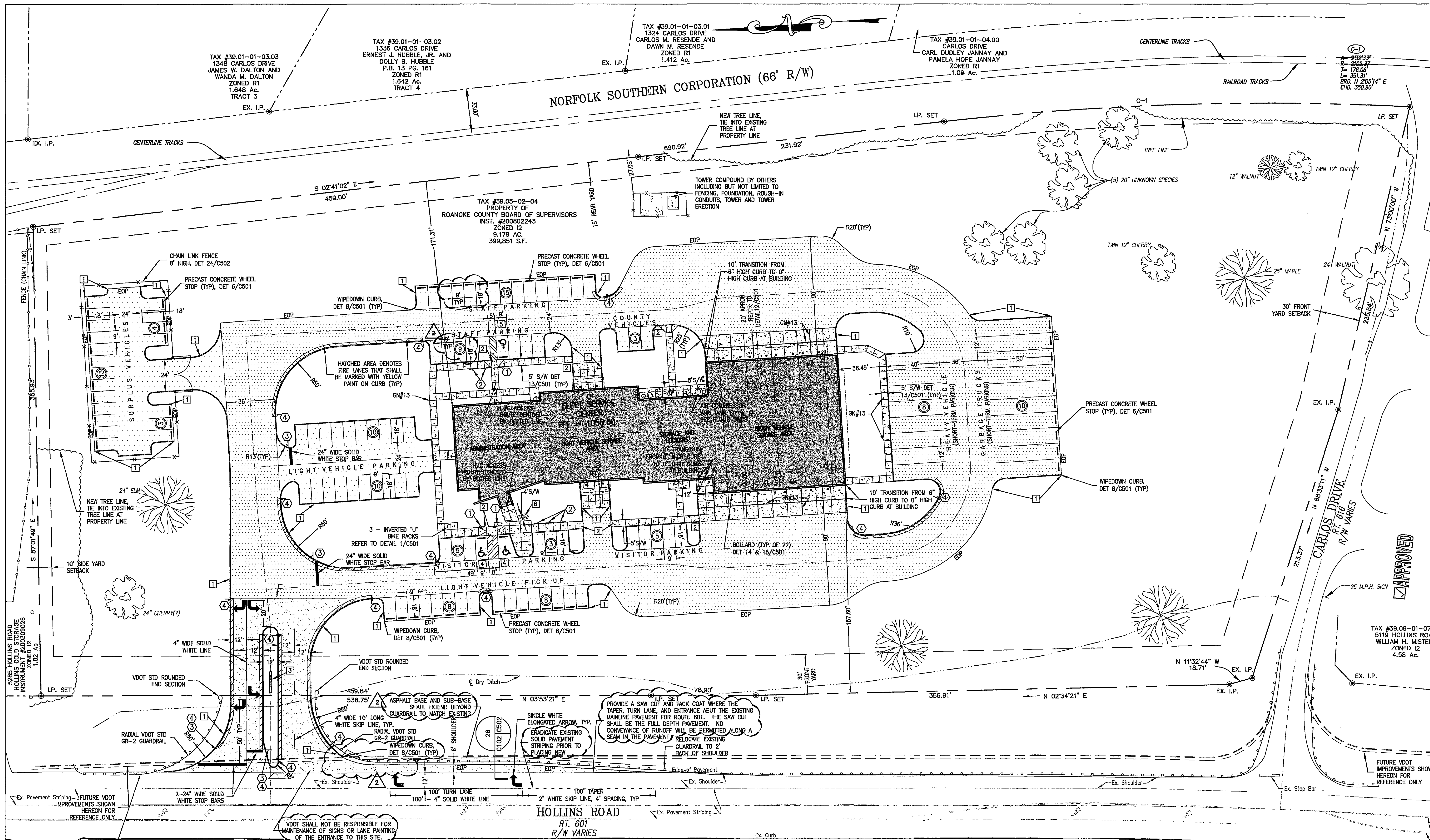
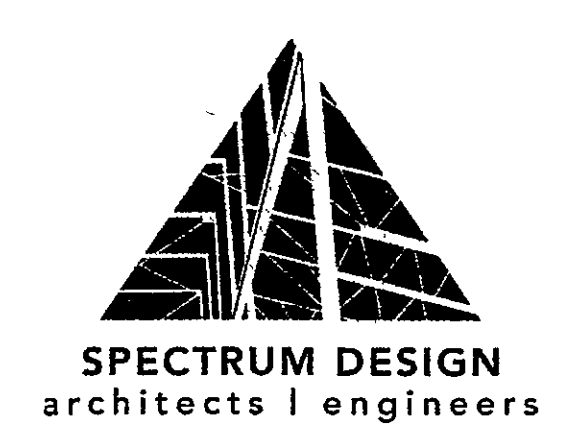




KEY PLAN

GENERAL NOTES

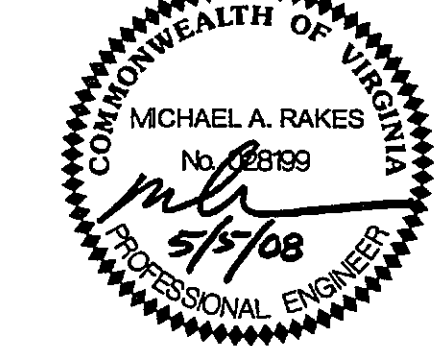
1. EXISTING TOPOGRAPHIC AND PLANIMETRIC INFORMATION IS TAKEN FROM FIELD SURVEYS PERFORMED BY LUMSDEN & ASSOCIATES, JULY 2007.
2. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001) 48 HOURS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
3. UNLESS OTHERWISE NOTED ALL LINEAR DIMENSIONS ARE TO THE FACE OF CURB.
4. UNLESS OTHERWISE NOTED ALL CURB RADI = 4'-6". ALL CURB RADI DIMENSIONS ARE TO THE FACE OF THE CURB.
5. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS.
6. ALL CONCRETE CURB SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT STANDARD CG-2.
7. ALL SITE LAYOUT SHALL BE PERFORMED BY A LICENSED SURVEYOR UTILIZING AN ELECTRONIC COPY OF THE PLANS. DIMENSIONS PROVIDED ARE FOR GENERAL LOCATION PURPOSES ONLY.
8. ALL CONCRETE JOINTS SHALL BE HAND TROWLED. SAWN JOINTS WILL NOT BE ACCEPTED (TYP).
9. WIPE DOWN ENDS OF CG-2 CURBS PER DETAIL 8/C501.
10. ALL SIGNS, EXISTING OR PROPOSED, SHALL COMPLY WITH REQUIREMENTS STATED IN SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.
11. ALL REFUSE SERVICE AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
12. REFER TO VDOT ROAD AND BRIDGE STANDARDS FOR PAVEMENT MARKING DETAILS.
13. PROVIDE 1/2" EXPANSION JOINT BETWEEN ALL FLATWORK EDGES AND BUILDINGS AND AT APPROXIMATELY 30' SPACING. ALLOW 1/2" AT TOP FOR SEALANT. PROVIDE SCORE JOINTS ELSEWHERE AS SHOWN.
14. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.



10 CHURCH AVE SE, SUITE 101 ROANOKE, VIRGINIA 24011 540.342.8001
ROANOKE • MARION

FLEET SERVICE CENTER ROANOKE COUNTY 5253 Old Hollins Rd Roanoke, VA 24019 IFB-0898

SPECTRUM DESIGN PROJECT NO. 05118

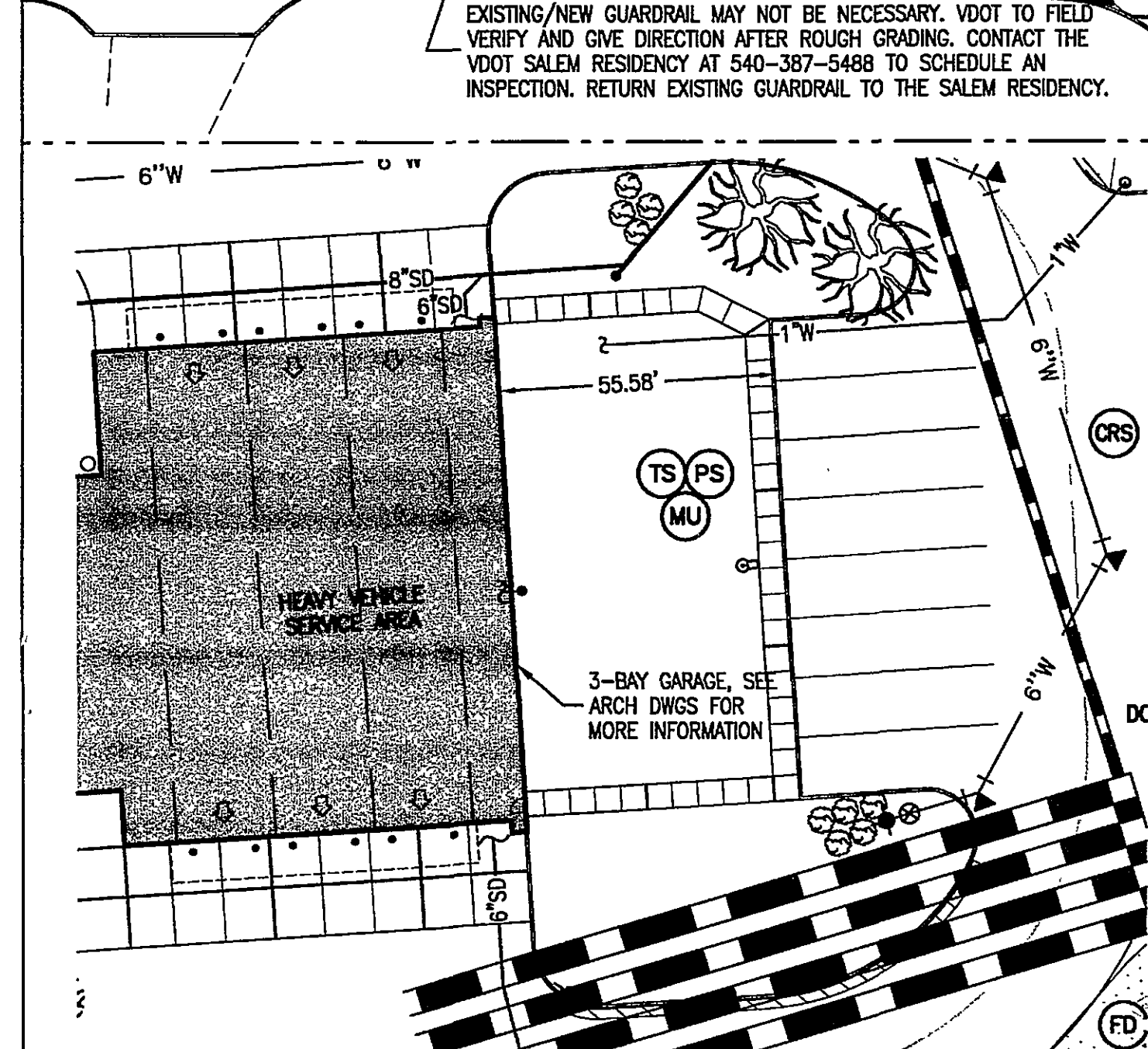


DATE: March 23, 2008
DESIGN ARCHITECT: WWH
PROJECT ARCHITECT: MMR
CHECKED BY: MMR
DRAWN BY: MMR
REVISIONS: NUMBER DATE
ADDENDUM #1 4/10/08
COUNTY/VDOT COMMENTS 2 5/2/09

SHEET TITLE

DIMENSIONAL PLAN

C102



SCALE - 1"=30'-0"
NOTE: SEE BASE PLANS FOR ITEMS NOT LABELED

- KEYNOTES:
- 1 VDOT STANDARD CURB (CG-2). SEE DETAIL 3/C501.
 - 2 HANDICAPPED RAMP. SEE DETAIL 20/C502. DEPRESS CURB WHERE NECESSARY TO MEET PAVEMENT ELEVATION. RAMP SHALL BE 1:12 SLOPE OR LESS.
 - 3 DOUBLE-SIDED FACILITY SIGN 16" WIDE BY 4.67' TALL MOUNTED ON 8" DIAMETER POSTS. SEE DET 23/C502 FOR MORE INFORMATION. SIGN PERMIT REQUIRED.
 - 4 VAN HANDICAPPED ACCESSIBLE PARKING SPACE(S).
 - 5 STANDARD HANDICAPPED ACCESSIBLE PARKING SPACE, DET 21/C502
 - 6 20' DOWNLIT (120V HALOGEN BULB) FLAGPOLE. SEE DETAIL 11/C501 & 16/C501.

- SIGN KEYNOTES:
NOTE: ALL SIGNS SHALL CONFORM TO M.U.T.C.D.
- 1 "HANDICAP ACCESSIBLE SPACE" SIGN (R7-B/R7-Ba), DET 22/C502
 - 2 "LOW-EMITTING VEHICLE ONLY" SIGN (REFER TO DETAIL 10 ON SHEET C501)
 - 3 "STOP" SIGN (R1-1)
 - 4 "NO PARKING FIRE LANE" SIGN (SIMILAR TO R7-9) 100' MINIMUM SPACING.
- LEGEND
- PAVEMENT - WITHIN VDOT RIGHT-OF-WAY, DET 1/C501
 - PAVEMENT - HEAVY DUTY, DET 1/C501
 - PAVEMENT - LIGHT DUTY, DET 1/C501
 - AREAS WITH YELLOW PAINTED CURB ONLY - DO NOT MARK ASPHALT
 - NEW CONCRETE, DET 1/C501
 - NEW BUILDING
 - NUMBER OF PARKING SPACES PER BAY
 - EDP EDGE OF PAVEMENT

ROANOKE COUNTY PARKING REQUIREMENTS (Minimum Required per Sec. 30-91-9)	
- ONE SPACE PER EMPLOYEE ON MAJOR SHIFT	
TOTAL EMPLOYEES = 28	
REQUIRED = 28 SPACES	
PROVIDED = 44 SPACES	
- TWO SPACES PER SERVICE BAY	
NUMBER OF BAYS = 12	
REQUIRED = 24 SPACES	
PROVIDED = 42 SPACES (24 STANDARD AND 18 LARGE)	
- HANDICAPPED	
REQUIRED = 3 SPACES (2 STANDARD AND 1 VAN)	
PROVIDED = 3 SPACES (1 STANDARD AND 2 VAN)	
- LOW-EMITTING VEHICLES	
REQUIRED = NONE	
PROVIDED = 5 SPACES	
- SURPLUS PARKING	
REQUIRED = NONE	
PROVIDED = 20 SPACES	
(REFER TO SHEET L101)	
TOTAL SPACES REQUIRED = 55	
TOTAL SPACES PROVIDED = 114	

SITE SUMMARY TABLE

TOTAL SITE AREA = 9.179 ACRES = 399,837 S.F.
BUILDING FOOTPRINT AREA (BIRD'S EYE VIEW): 23,079 S.F.
CANOPY FOOTPRINT AREA: 2,341 S.F.
SITE ADDRESS:
5253 HOLLINS ROAD, TAX MAP# 039.05-02-04, 9.179 Ac.
ADJACENT ZONING: I2, R1, R2, C1S, C1, C2 AND RR
ADJACENT LAND USE: RESIDENTIAL, CHURCH, COLD STORAGE, MANUFACTURING, RAILROAD
CURRENT LAND USE: RESIDENTIAL/AGRICULTURAL
PROPOSED LAND USE: AUTOMOBILE REPAIR SERVICE, MAJOR ZONING: I-2 DISTRICT

MINIMUM LOT REQUIREMENTS:
- LOT AREA: MIN = 20,000 S.F., ACTUAL = 399,837 S.F.
- LOT FRONTAGE: MIN = 100', ACTUAL = 1363'

MINIMUM SETBACK REQUIREMENTS:
FRONT YARD:
- 30' OR 20' WHEN ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE
REAR YARD:
- PRINCIPAL STRUCTURE: 15'
- ACCESSORY STRUCTURE: 3'

SIDE YARD:
- PRINCIPAL STRUCTURE: 10'
- ACCESSORY STRUCTURE: BEHIND THE FRONT BUILDING LINE AND 3' FROM SIDE LINE

MAXIMUM HEIGHT OF STRUCTURES:
- MAXIMUM = 75', ACTUAL = 31'

MAXIMUM COVERAGE:
- BUILDING COVERAGE: MAX = 75% OF LOT AREA, ACTUAL = 6%
- LOT COVERAGE: MAX = 90% OF LOT AREA, ACTUAL = 30%

CROWN COVERAGE:
- TOTAL DISTURBED AREA = 7.4 Ac. = 321,910 S.F.
- REQUIRED = 13% OF DISTURBED AREA = 112,669 S.F.
- ACTUAL = 14.12% SEE (S-439)

LOADING SPACES: REQUIRED=1, PROVIDED=1
REQUIRED BUFFER TYPE: NONE