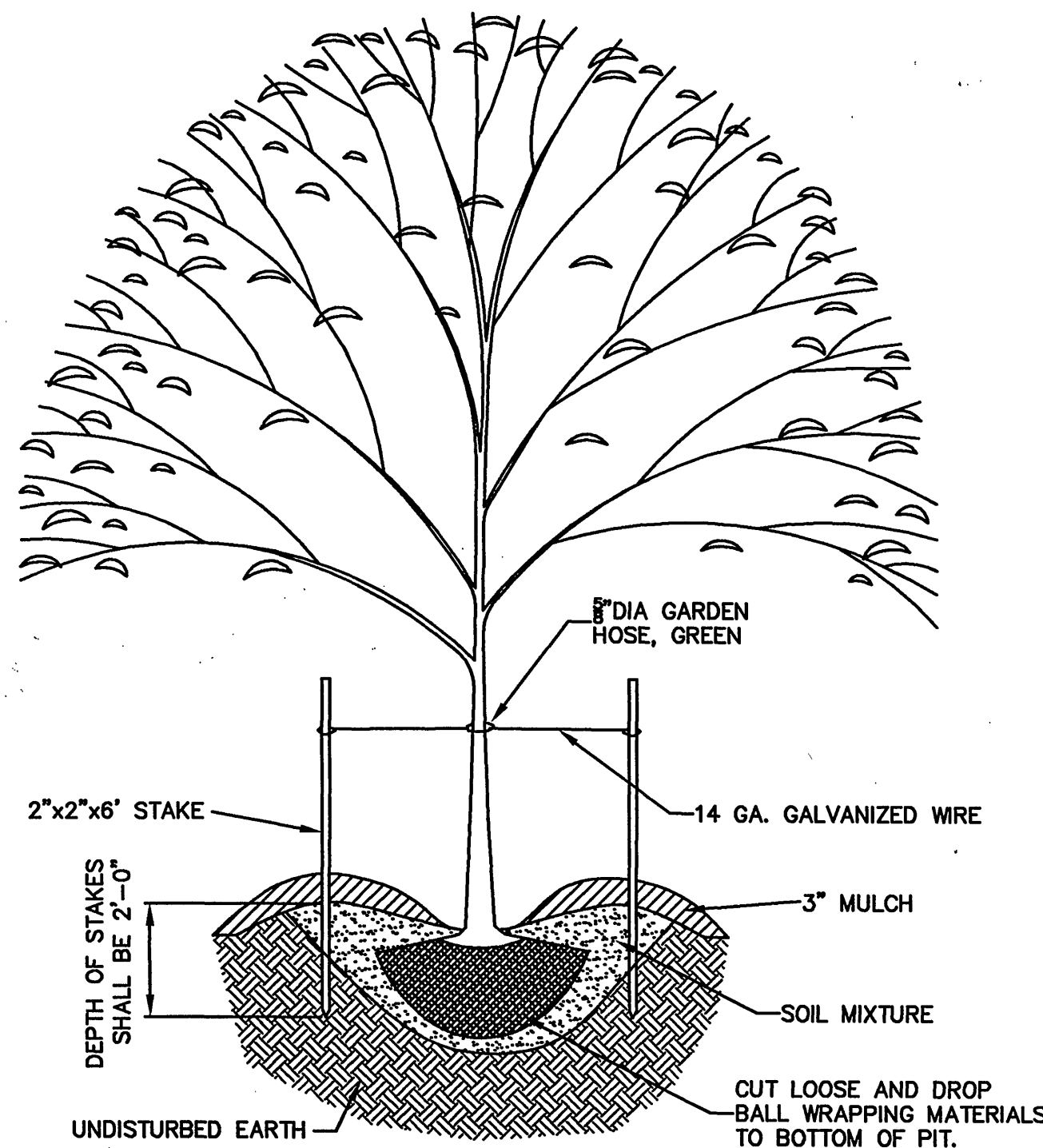


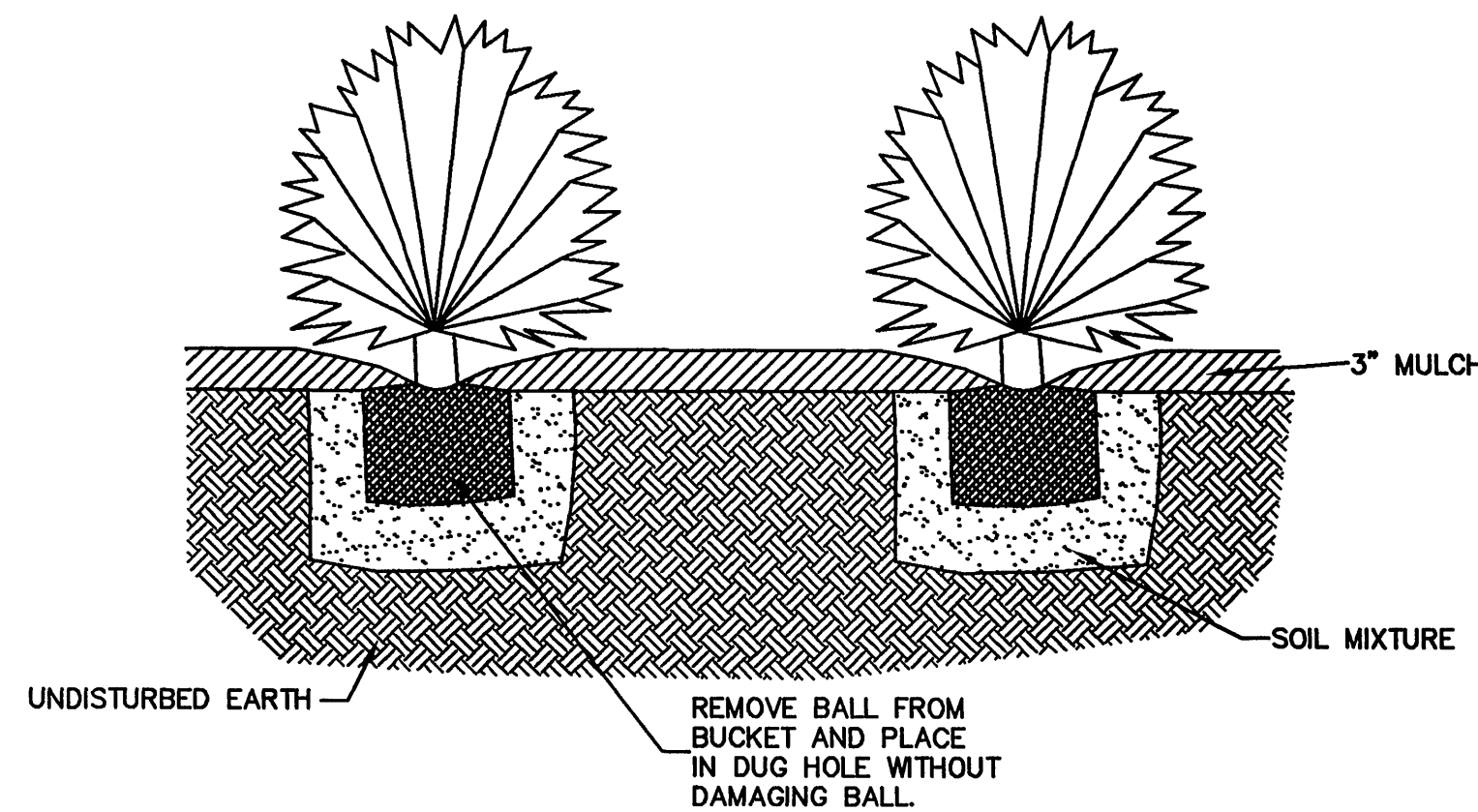
LANDSCAPING NOTES

1. QUALITY: ALL PLANT MATERIALS SHALL BE LIVING AND IN HEALTHY CONDITION AT TIME OF PLANTING.
2. MINIMUM SIZE AND HEIGHT: PLANTS SHALL CONFORM TO THE MINIMUM CALIPER AND HEIGHT REQUIREMENTS AS SPECIFIED. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES ABOVE GRADE FOR TREES UNDER FOUR INCHES IN DIAMETER AND TWELVE INCHES ABOVE GRADE FOR TREES LARGER THAN FOUR INCHES.
3. LARGE DECIDUOUS TREES: MINIMUM CALIPER OF ONE AND ONE-HALF INCHES.
4. SMALL DECIDUOUS TREES: MINIMUM CALIPER OF ONE INCH.
5. MEDIUM SHRUBS: MINIMUM HEIGHT OF TWELVE INCHES AT TIME OF PLANTING.
6. LOW GROWTH ORNAMENTAL LANDSCAPING SHALL INCLUDE MIXTURE OF APPROVED LOW SHRUBS IN SECTION 25-102 (b) MIXED WITH MULCH AND OTHER LANDSCAPING MATERIAL.
7. ALL PLANTS SHALL BE DUG, BALLED, BURLAPED AND TRANSPORTED TO THE SITE. BARE-ROOT PLANTING IS NOT PERMITTED.
8. PLANTS SHALL BE NURSERY GROWN, NEITHER HEELED-IN PLANTS NOR PLANTS FROM COLD STORAGE ARE ACCEPTABLE.
9. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED, GOOD PLANTING PRACTICES AND PROCEDURES. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BY THE FIRST PLANTING SEASON FOLLOWING PRELIMINARY CLEARING AND GRUBBING.
10. MAINTENANCE: THE OWNER, OR HIS AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED LANDSCAPING MATERIALS. ALL PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION AND FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY, DYING, OR DEAD PLANT MATERIAL SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.
11. ALL REQUIRED LANDSCAPING MATERIAL WILL BE CHOSEN FROM THE RECOMMENDED PLANT LIST IN SECTION 25-103 OF THE ZONING ORDINANCE. OTHER SPECIES OF PLANTS PROPOSED AS A PART OF A LANDSCAPE PLAN AS REQUIRED BY THE ORDINANCE SHALL BE CONSIDERED AND MAY BE APPROVED BY FRANKLIN COUNTY PERSONNEL ON A CASE BY CASE BASIS.



TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

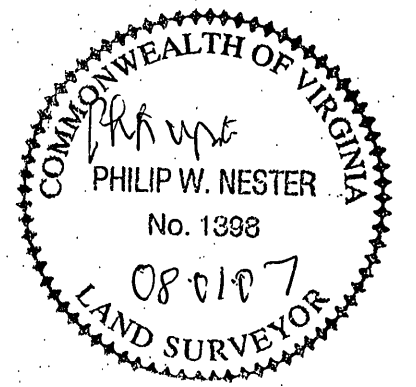
NOT TO SCALE

LAKEWATCH PLANTATION PCD FILE NO 05-10-01

1. THE PROPERTY SHALL BE DEVELOPED IN SUBSTANTIAL CONFORMANCE WITH THE REZONING AND CONCEPT PLAN FOR LAKEWATCH PLANTATION DATED AUGUST 27, 2005 PREPARED BY LAKE WATCH L.L.C. AND OTHERS.
2. SHORT TERM RENTALS SHALL BE PROHIBITED IN ALL RESIDENTIAL USES.
3. CONSERVATION EASEMENTS AS APPROVED BY THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE U.S. ARMY CORPS OF ENGINEERS UNDER JOINT PERMIT APPLICATION #05-0114 WILL BE IMPOSED UPON THE LANDS, SUBJECT, HOWEVER, TO THE RIGHTS FOR UTILITY CROSSINGS, PERVIOUS MATERIAL WALK TRAILS, AND OTHER PASSIVE RECREATIONAL USES.
4. THE AREAS DESIGNATED ON THE CONCEPT PLAN AS UNDEVELOPED AREAS SHALL BE SUBJECT TO FUTURE UTILITY CROSSINGS (INCLUDING SEPTIC FIELD LOCATIONS), PERVIOUS MATERIAL WALKING TRAILS, BIKE/JOGGING/CART TRAILS AND OTHER PASSIVE RECREATIONAL USES.
5. THE APPLICANT SHALL PROVIDE FOR THE FUTURE RIGHT OF WAY OF VIRGINIA STATE ROUTE 122 TO ACCOMMODATE ONE-HALF OF THE RIGHT OF WAY WIDTH REQUIRED FOR FIVE (5) TRAFFIC LANES (ONE CENTER TURN LANE AND FOUR TRAVEL LANES) UP TO A MAXIMUM OF FIFTY-FIVE FEET ON THE NORTHWEST SIDE FROM THE EXISTING CENTERLINE.
6. THE APPLICANT SHALL INSTALL A 20' WIDE AND +/- 10' HIGH LANDSCAPE BERM OUTSIDE OF THE PROPOSED FUTURE RIGHT OF WAY ALONG VIRGINIA STATE ROUTE 122. SAID BERM TO BE OF VARYING HEIGHTS DEPENDING UPON THE EXISTING TOPOGRAPHY AND SHALL INCLUDE PLANTED TREES ALONG THE TOP OF THE BERM. TREES SHALL BE A MIXTURE OF HARDWOODS AND EVERGREENS PLANTED AT A MAXIMUM SEPARATION DISTANCE OF 25' WITH A MINIMUM HEIGHT OF 6' AT TIME OF PLANTING.
7. ARCHITECTURAL PROFFERS:
 - A. ALL STRUCTURES IMMEDIATELY ADJACENT TO VIRGINIA STATE ROUTE 122 (BEING THE FIRST LINE OF BUILDINGS ADJACENT TO VIRGINIA STATE ROUTE 122) ARE RESTRICTED TO ONE STORY IN HEIGHT, EXCEPT THE HOTEL CONFERENCE CENTER (WHICH SHALL COMPLY WITH FRANKLIN COUNTY CODE 25-394) AND THE GROCERY STORE (WHICH SHALL NOT EXCEED TWO STORIES).
 - B. ALL "STREET-SCAPES" SHALL BE DEVELOPED IN GENERAL CONFORMITY WITH THE "STREET-SCAPE DESIGN" AS SHOWN IN APPENDIX E.
 - C. IN THE COMMERCIAL ZONE ALONG VIRGINIA STATE ROUTE 122, THERE WILL BE TWO ARCHITECTURAL DESIGN DISTRICTS. THE FIRST ARCHITECTURAL DISTRICT INCLUDES BUILDING AREAS DESIGNATED AS UNITS 1 THROUGH 21, (EXCLUSIVE OF THE HOTEL CONFERENCE CENTER) AND IS TO HAVE ARCHITECTURAL FACADES SIMILAR TO THE EXISTING WESTLAKE WESTLAKE TOWNE CENTER. THE HOTEL/CONFERENCE CENTER FACADE SHALL HAVE COMPLEMENTING FORMS AND MATERIALS TO CREATE CONTINUITY WITH THE ADJACENT STRUCTURES. THE SECOND ARCHITECTURAL DISTRICT INCLUDES BUILDING AREAS 22 THROUGH 45, AND IS TO BE DEVELOPED IN A MANNER WITH COMPLEMENTING FORMS AND MATERIALS TO CREATE CONTINUITY WITH THE ADJACENT (PATIO HOMES, COTTAGES, AND SENIOR LIVING CONDOMINIUMS) RESIDENTIAL DEVELOPMENT.
 - D. VERTICAL METAL SIDING SHALL BE PROHIBITED ON ANY FACADE VISIBLE FROM ANY PUBLIC STREET RIGHT OF WAY.
 - E. THE DESIGN OF ANY FUTURE BUILDING SHALL RELATE TO ADJACENT DEVELOPMENT THAT IS CONSIDERED TO BE CONTRIBUTING TO THE CHARACTER OF LAKEWATCH PLANTATION BY THE USE OF COMPLEMENTING FORMS AND MATERIALS TO CREATE CONTINUITY WITHIN THE VILLAGE AREA. MATERIALS FOR EXTERIOR WALLS MAY INCLUDE (BUT NOT BE LIMITED TO) BRICK, DRIVET, AND OTHER LOW MAINTENANCE FACADES; AND WALLS WILL BE ARTICULATED THROUGH THE USE OF WINDOW AND DOOR OPENINGS, BELT COURSES, PILASTERS AND OTHER SIMILAR ARCHITECTURAL TREATMENTS.
 - F. ROOFING MATERIALS FOR PITCHED ROOFS SHALL BE METAL OR COMPOSITE SHINGLE. FLAT ROOFS SHALL HAVE A PARAPET WALL TALL ENOUGH IN HEIGHT TO SCREEN ANY ROOF MOUNTED MECHANICAL EQUIPMENT. BUILDINGS WITH FLAT ROOFS SHALL HAVE A DECORATIVE CORNICE AT THE TOP OF ALL WALLS.
 - G. ARCHITECTURAL DETAIL SHALL BE INCORPORATED TO CREATE ARCHITECTURAL CHARACTER. DETAIL INCLUDES HIGHLIGHTING FOUNDATIONS, LINTELS, SILLS AND CORNICES WITH CONTRASTING MATERIALS AND BREAKING UP THE MASS OF THE BUILDING WITH BANDS AT FLOOR LEVELS OR PROJECTIONS AT ENTRIES.
 - H. WINDOWS AND DOORS SHALL HAVE A REGULAR PATTERN OF SOLIDS AND VOIDS THAT ARE CONSISTENT THROUGHOUT INDIVIDUAL BUILDINGS.
 - I. BUILDINGS ELEVATIONS SHALL BE INCLUDED WITH ANY SITE PLAN SUBMISSION.
8. THE PARK/PUBLIC PLAYGROUND, THE YOUTH BALL FIELD, THE PUBLIC WALK TRAIL, AND PIONIC AREA SHOWN AS PART OF THE COMMUNITY CENTER RECREATION AREA AND THE BIKE TRAILS THROUGHOUT THE PROJECT WILL BE OPEN TO THE PUBLIC (FREE OF CHARGE). THE TENNIS COURTS, FITNESS CENTER, DAY CARE CENTER, AND AMPHITHEATER WILL BE OPEN TO THE PUBLIC ON A FEE BASIS.
9. IN ACCORD WITH THE CONCEPT PLAN, THE APPLICANT AGREES TO DONATE TO FRANKLIN COUNTY A PARCEL OF LAND OF APPROXIMATELY 18 ACRES. THE ACCEPTANCE BY FRANKLIN COUNTY OF THE DONATED PARCEL SHALL BE MADE WITHIN FIVE (5) YEARS AFTER THE REZONE. IF FRANKLIN COUNTY DOES NOT EXERCISE ITS OPTION TO ACCEPT THIS DONATED PARCEL WITHIN THE SAID TIME FRAME, THE APPLICANT OR ASSIGNS AGREES TO USE THE LAND FOR RECREATIONAL PURPOSES UNLESS A SEPARATE REZONE APPLICATION SHOULD PROVIDE OTHERWISE. THE PARCEL SHALL BE TRANSFERRED SUBJECT TO SUCH APPLICABLE SEPTIC DRAINFIELDS AND EASEMENTS AS ARE NECESSARY TO SUPPORT THE CENTRAL SEWER SYSTEM (SPECIAL USE PERMIT: MAY 17, 2005; FILE # U05-04-03). THE VALUE OF THE DONATED PARCEL SHALL BE AS AGREED TO BY THE PARTIES AT THE TIME OF THE TRANSFER.
10. THIS APPLICANT WILL CONSTRUCT THE PAVED BIKE/WALK/CART TRAIL AS SHOWN ON THE CONCEPT PLAN WITHIN 30 MONTHS OF THE REZONING. AT A MINIMUM THE TRAILS SHALL CONSIST OF A 10-FOOT WIDE EASEMENT, AND A 8-FOOT WIDE TRAVEL PATH AND HAVE STRIPING OR STAMPED ASPHALT AT ALL PRIVATE AND PUBLIC CROSSINGS. THE EASEMENT, SUBJECT TO SUCH NECESSARY CROSS-OVERS AS MAY BE REQUIRED TO SUPPORT THE OTHER DEVELOPMENTAL PURPOSES, WILL BE OFFERED/DONATED TO THE COUNTY, IN WHOLE OR PART, AND THEREAFTER SUCH ACCEPTED PART, IF ANY, SHALL BE MAINTAINED BY THE COUNTY. ANY SECTION NOT ACCEPTED BY FRANKLIN COUNTY SHALL BE MAINTAINED BY THE APPLICANT OR ASSIGNS. THE VALUE OF THE DONATED PARCEL SHALL BE AS AGREED TO BY THE PARTIES AT THE TIME OF THE TRANSFER.
11. THE PUBLIC WALK TRAIL AS SHOWN ON THE CONCEPT PLAN CONNECTING THE FITNESS CENTER COMPLEX AND THE HOTEL/CONFERENCE CENTER SHALL BE SHOWN ON THE SITE PLAN. SITE PLAN SHALL SPECIFY THE TRAIL TO HAVE 4 FEET MINIMUM WIDTH OF GRAVEL OR EQUIVALENT SURFACE AND 10 FEET CLEARANCE HEIGHT. ANY FEDERAL OR STATE AGENCIES SHALL PREVAIL IF THEY DETERMINE A SMALLER WIDTH AND/OR HEIGHT REQUIREMENT. SUCH TRAIL SHALL BE MAINTAINED BY THE APPLICANT OR ASSIGNS.
12. THE PRIVATE WALK TRAILS AS SHOWN ON THE CONCEPT PLAN CONNECTING THE PATIO HOMES, COTTAGES, AND SENIOR LIVING RESIDENCES SHALL BE SHOWN ON THE FIRST SITE PLAN FOR EITHER/OR THE PATIO HOMES, COTTAGES, OR SENIOR LIVING RESIDENCES. SITE PLAN SHALL SPECIFY THE TRAIL TO HAVE A 4 FEET MINIMUM WIDTH OF GRAVEL OR EQUIVALENT SURFACE AND 10 FEET CLEARANCE HEIGHT. ANY FEDERAL OR STATE AGENCIES SHALL PREVAIL IF THEY DETERMINE A SMALLER WIDTH AND/OR HEIGHT REQUIREMENT. SUCH TRAIL SHALL BE MAINTAINED BY APPLICANT OR ASSIGNS.

ENVIRONMENTAL/LOW IMPACT DEVELOPMENT TECHNIQUES:

13. LOW IMPACT DEVELOPMENT TECHNIQUES SUCH AS, BUT NOT LIMITED TO, MINI BIO-RETENTION POND, RAIN BARRELS, PERVIOUS BERMS, AND PERVIOUS SWALES SHALL BE DESIGNED TO PROVIDE ADEQUATE STORAGE AND INFILTRATION FOR A RUNOFF VOLUME EQUAL TO 1 INCH ON ALL IMPERVIOUS AREAS. THESE FACILITIES SHALL BE PROVIDED INDIVIDUALLY ON EACH SITE OR COMBINED AT ANY OTHER APPROPRIATE LOCATION.
14. THE DESIGNATIONS OF PROPOSED USES AS SET FORTH ON SHEET 4 IN APPENDIX D ARE PROJECTED PROPOSED USES AND THE EXACT USES ARE UNKNOWN. ACCORDINGLY, THE DEVELOPER RESERVES THE RIGHT TO RECONFIGURE THE PROPOSED LOCATIONS PROVIDED THAT ANY REVISION SHALL NOT EXCEED THE TOTAL SQUARE FOOTAGES PROPOSED FOR THE PROJECT AND SUCH USE IS PERMITTED IN THE PCD ZONE AS AMENDED.
15. THE CONCEPT PLAN PROVIDES FOR A PROJECTED TOTAL UNCOVERED AREA OF 80% AND A TOTAL COVERED AREA OF 20%. THE CONCEPT PLAN IS PRELIMINARY IN NATURE AND FINAL SITE DESIGN MAY REQUIRE MINOR CHANGES BECAUSE OF TOPOGRAPHY AND OTHER ENGINEERING DESIGN ISSUES. ANY INCREASE IN COVERED AREA DUE TO ENGINEERING DESIGN ISSUES SHALL NOT EXCEED A TOTAL COVERED AREA OF 25%, THUS GUARANTEEING THAT A MINIMUM OF 75% OF THE PCD AREA (+/- 299 ACRES) SHALL REMAIN UNCOVERED.
16. FREE-STANDING SIGNS ALONG ROUTE 122 SHALL BE RESTRICTED TO TENANT DIRECTORY SIGNS LOCATED ONLY AT THE PROPOSED ENTRANCES (THREE PUBLIC AND ONE PRIVATE) WITH AN ADDITIONAL FREE STANDING SIGN FOR THE HOTEL/CONFERENCE CENTER AND ONE ADDITIONAL FREE STANDING SIGN FOR THE GROCERY STORE SHOPPING CENTER COMPLEX.
17. A FIFTY-FOOT WIDE NATURAL PRESERVATION BUFFER SHALL REMAIN IN PLACE ALONG WITH WEST PROPERTY LINE ADJOINING TAX PARCELS # 15-37 AND # 15-38.
18. ALL UTILITIES WILL BE LOCATED UNDERGROUND.



LANDSCAPING DETAILS/APPROVED PROFFERS
COMMERCIAL LOT C-27

AT
LAKEWATCH PLANTATION

PLANNED COMMERCIAL DEVELOPMENT
DEVELOPED BY: LAKE WATCH, L.L.C.
GILLS CREEK MAGISTERIAL DISTRICT
FRANKLIN COUNTY, VIRGINIA

JOB NO 21-04
MAY 15, 2007

LANDSCAPING DETAILS/APPROVED PROFFERS
SHEET 22 OF 32
REVISED AUGUST 1, 2007