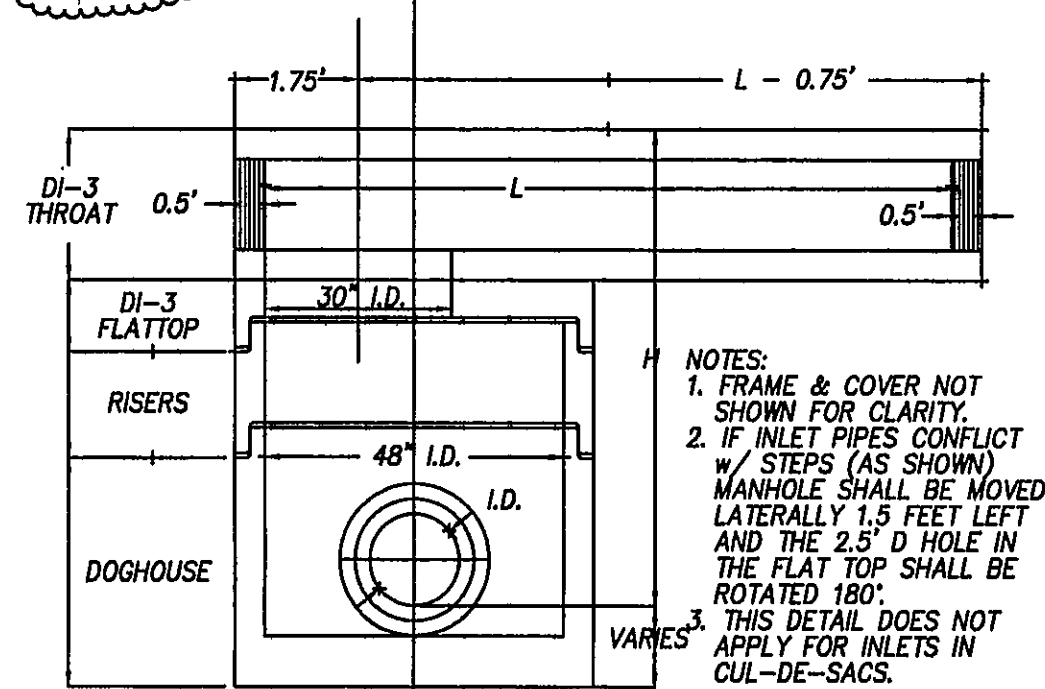
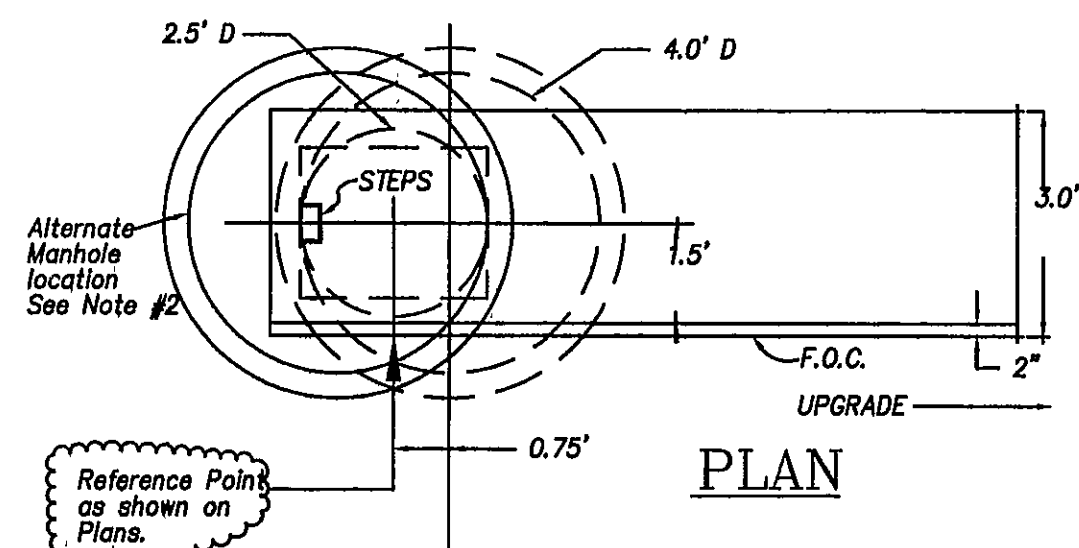


TYPICAL STREET SECTION  
NO SCALE

PAVEMENT SPECIFICATIONS:

STREET NAME	FROM STATION TO STATION	CATEGORY	ROAD WIDTH	PAVEMENT SPECIFICATION
REMAINING ACCESS ROADS AND PARKING	SEE DIMENSIONAL LAYOUT	PRIVATE	SEE DIMENSIONAL LAYOUT	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5A 8" AGGREGATE BASE-21B, -- SEE NOTE BELOW

NOTE: THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/S.Y. OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/S.Y. OF SIZE 8-P AGGREGATE BEFORE PLACING OF THE SM-9.5A.



PROFILE

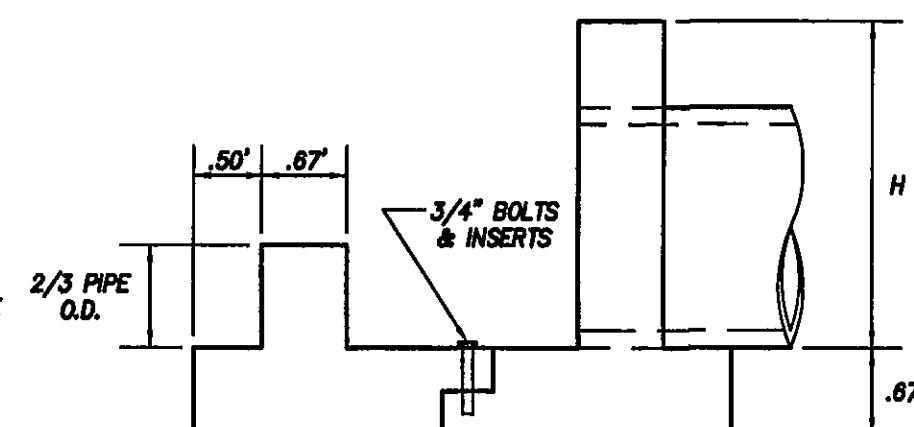
LOCATION DETAIL FOR DI-3B (PRECAST)

NO SCALE

PIPE I.D.	H	L	A	B
12"	2.00'	4.00'	1.83'	1.83'
15"	2.25'	5.00'	1.83'	1.83'
18"	2.50'	6.00'	1.83'	1.83'
24"	3.17'	8.00'	1.83'	1.83'
30"	3.83'	10.00'	1.83'	1.83'
36"	4.33'	12.00'	1.83'	1.83'
42"	4.79'	14.00'	3.00'	2.83'
48"	5.33'	16.00'	3.00'	2.83'

NOTES:

- CONCRETE 4,000 P.S.I.
- REINFORCING #4 @ 8" C.C. E.W. DOUBLE ROW THROUGHOUT.
- FOUR (4) BOLTS AND INSERTS ARE REQUIRED FOR 42" AND 48" EW-1.
- PLACE CLASS 1 RIP RAP ALONG THE PERIMETER OF THE STRUCTURE TO PREVENT SCOUR AND EROSION.



EW-1 MODIFIED WITH ENERGY DISSIPATER

NO SCALE

**FEATURES**

- Die Cast Aluminum Housing
- Borosilicate Glass Lens
- Aluminum Base Plate with Conduit Access
- Lamp Included

Listed for Wet Locations

**ORDERING INFORMATION**

Catalog #	Description	Volts	Ballast Type	Lamp
WLG-50NH0PK	50 watt MH	Quad V	RX-NFF	MH50/U/N
WLG-70NH0PK	70 watt MH	Quad V	RX-NFF	MH70/U/N
WLG-100NH0PK	100 watt MH	Quad V	RX-NFF	MH100/U/V
WLG-50H-PK	50 watt HPS	120 V	R-NPT	I50H65/M
WLG-70H-PK	70 watt HPS	120 V	R-NPT	I70H67/M
WLG-100H-PK	100 watt HPS	120 V	R-NPT	I100H67/M
WLG-100HFK	100 watt HPS	120 V	R-NFF	C100H64/V
WLG-100HFK	100 watt HPS	120 V	R-NFF	C100H64/V

Add Suffix WT to Indicate White Housing Add Suffix PK to Indicate Photo Control

**DIMENSIONS**

Approx. Weight: 13 lbs.

**ACCESSORIES (FIELD INSTALL)**

Catalog #	Description	Qty.	Pkg.
WLG-50H	WLG-50H and 5' Mount	1	50
WLG-70H	WLG-70H and 5' Mount	1	70
WLG-100H	WLG-100H and 5' Mount	1	100

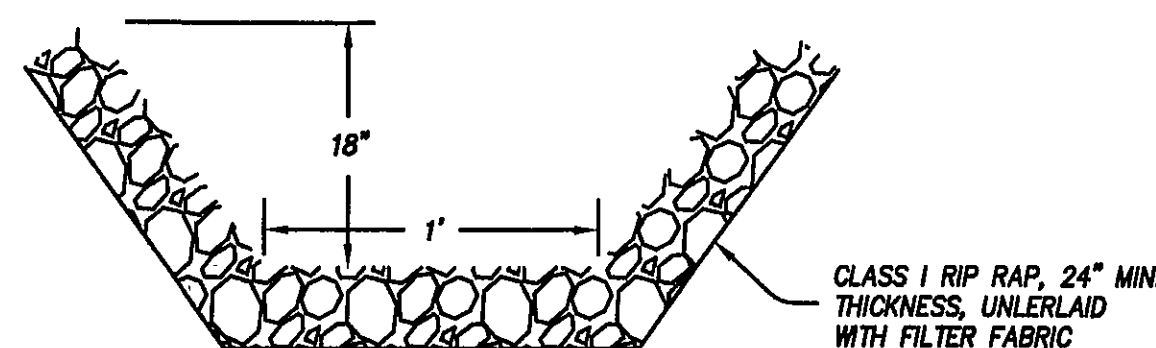
**MOUNTING DETAIL**

**PHOTOMETRICS**

100W MH @ 15' Mounting Height

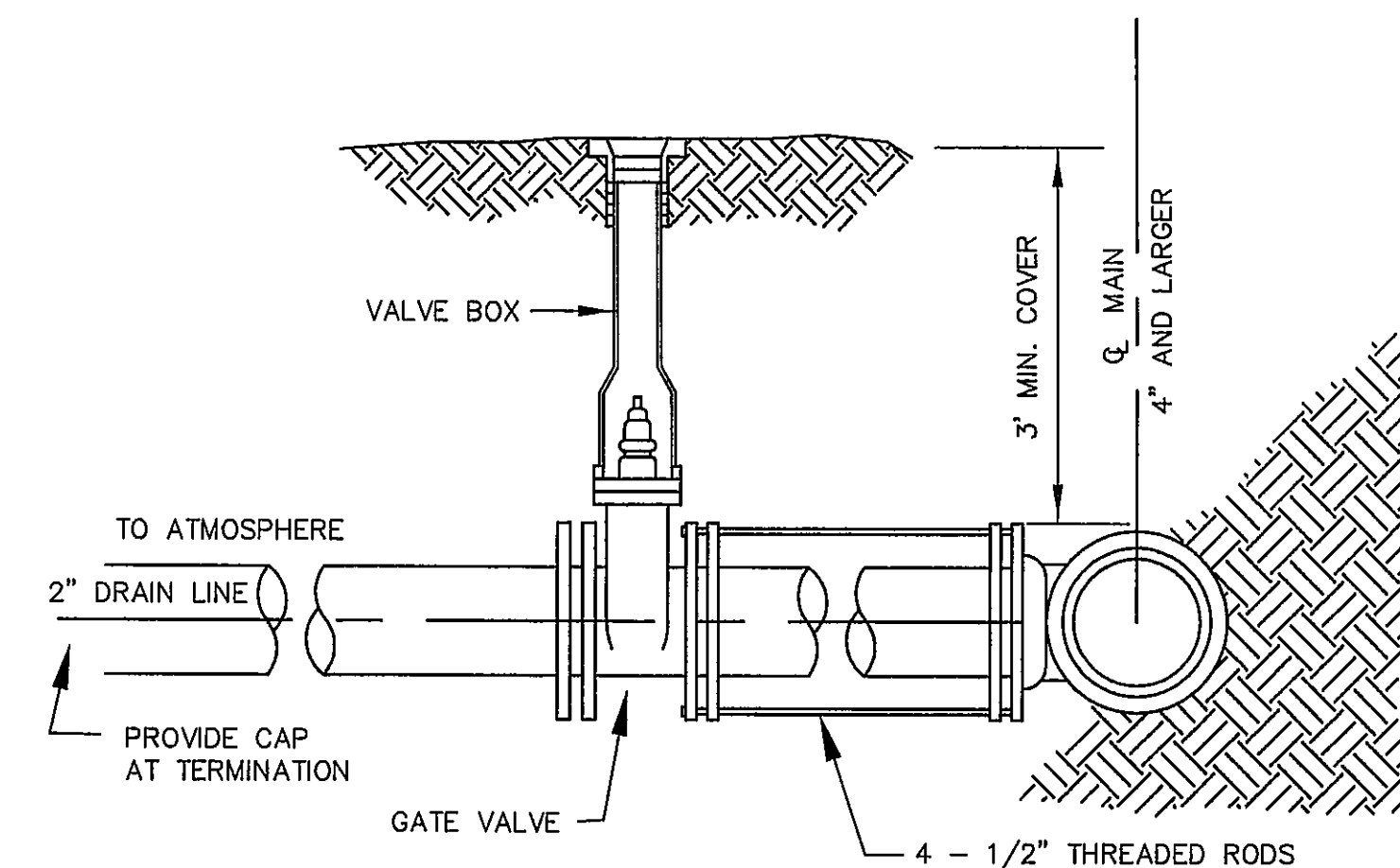
STREET LIGHT DETAIL

NO SCALE



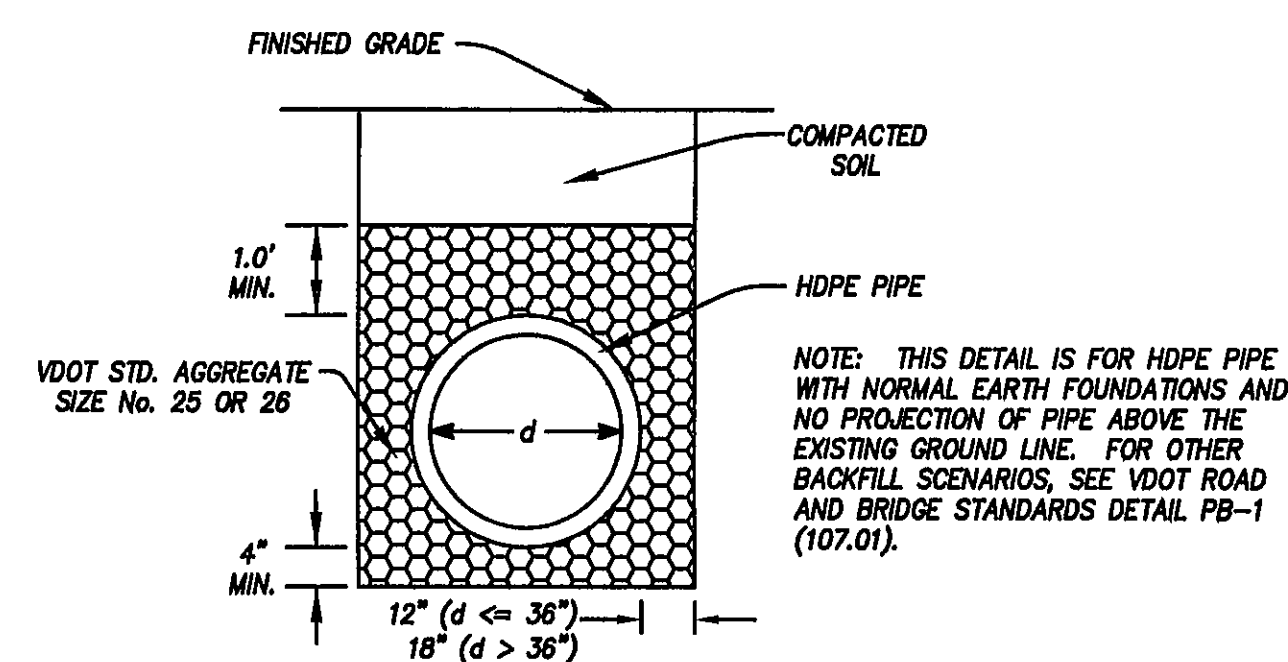
TYPE "A" DITCH

NO SCALE



BLOW-OFF DETAIL

NO SCALE



HDPE PIPE BEDDING

NO SCALE

SITE AND ZONING TABULATIONS

CURRENT ZONING: RPD  
PROPOSED USE: 12 CONDOMINIUM UNITS  
SITE ACREAGE: 1.888 ACRES (BUILDING 400 SITE)  
BUILDING HEIGHT: 37.13 FT. (MEASURED FROM GROUND FLOOR)  
OPEN SPACE: 74.27 % (50% REQUIRED)

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT FRANKLIN COUNTY TAX ASSESSMENT MAP 31-6.
- OWNER/DEVELOPER: WILLARD CONSTRUCTION OF ROANOKE VALLEY, INC. P. O. BOX 540 WIRTZ, VA 24184
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY AND IS CERTIFIED CORRECT.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. PERFORMED IN 2002.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND PRIVATE SEWER.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PRIVATE ROADS.
- FOR SANITARY SEWER, SEE PLANS BY STONE ENGINEERING, DATED 21 DECEMBER 2004.
- ALL WATER LINE MATERIAL AND CONSTRUCTION SHOULD BE IN ACCORDANCE WITH CHAPTER 22 OF THE FRANKLIN COUNTY CODE.

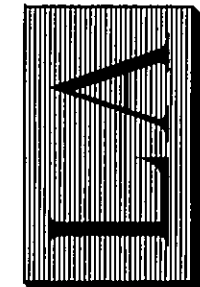
CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF FRANKLIN STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN MADE BY THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- ALL WATER AND SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY FRANKLIN COUNTY UTILITY DEPARTMENT.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 8 INCH LIFTS TO 95% MINIMUM DENSITY, STANDARD PROCTOR.

LUMSDEN ASSOCIATES, P.C.  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA



COMMONWEALTH OF VIRGINIA  
THOMAS C. DALE  
No. 033002  
3/1/05  
PROFESSIONAL ENGINEER

NOTES AND DETAILS

SOUTH POINTE CONDOMINIUMS - BUILDING 400  
AT THE WATERFRONT - PREPARED FOR  
WILLARD CONSTRUCTION OF  
ROANOKE VALLEY, INC.  
GILLS CREEK MAGISTERIAL DISTRICT  
FRANKLIN COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: MARCH 04, 2005

SCALE: NONE

COMMISSION NO: 2001-389

ADD FILE: 01\01389\ENGR\BLDG400\389COMP400

SHEET 3 OF 10