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SITE AND ZONING TABULATIONS

CURRENT ZONING: RESIDENTIAL PLANNED UNIT DEVELOPMENT (RPD)
PROPOSED ZONING: RESIDENTIAL PLANNED UNIT DEVELOPMENT (RPD) WITH CONDITIONS (PENDING)
PROPOSED USE: TOWNHOUSE
SITE ACREAGE: 12.860 ACRES
PROPOSED NUMBER OF RESIDENTIAL UNITS: 10
PROPOSED RESIDENTIAL DENSITY: 0.78 TOWNHOUSE UNITS PER GROSS ACRE
PROPOSED BUILDING HEIGHT: 1 1/2 STORY WITH WALKOUT BASEMENT
MINIMUM REQUIRED SETBACKS: FRONT - 55' FROM CENTERLINE OF SPECIFIED RIGHT-OF-WAY OR 30' FROM EDGE OF THE RIGHT-OF-WAY, WHICHEVER IS GREATER
SIDE - 10 PERCENT OF THE ROAD FRONTAGE DISTANCE WITH A MINIMUM OF 10' AND MAXIMUM OF 12'
REAR - 20' (CONTIGUOUS WITH SMITH MOUNTAIN LAKE)
PROPOSED FRONT SETBACK: 35' (55' FROM CENTERLINE OF SPECIFIED RIGHT-OF-WAY)
PROPOSED OPEN SPACE: 7.008 ACRES OR 54.5 PERCENT OF GROSS AREA
PROPOSED RESIDENTIAL AREA: 5.179 ACRES OF 40.3 PERCENT OF GROSS AREA
PROPOSED PRIVATE ROAD AREA: 0.673 ACRES OR 5.2 PERCENT OF GROSS AREA

ANTICIPATED TOTAL FLOOR AREA - 27,650 SQUARE FEET
ANTICIPATED BUILDING COVERAGE - 4.9 PERCENT OF GROSS AREA
OPEN SPACE AREA - 7.009 ACRES
OPEN SPACE RATIO PROVIDED - 54.5 PERCENT OF GROSS AREA
MINIMUM OPEN SPACE RATIO REQUIRED - 50 PERCENT OF GROSS AREA
DEVELOPED OPEN SPACE - 1.162 ACRES
DEVELOPED OPEN SPACE RATIO - 9.0 PERCENT OF GROSS AREA
MINIMUM DEVELOPED OPEN SPACE RATIO REQUIRED - 5 PERCENT OF GROSS AREA

SPECIAL USE PERMIT CONDITIONS

- PROPERTY SHALL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE "CONCEPT PLAN FOR GRANDE VILLAS at the WATERS EDGE" DATED MAY 30, 2007, PREPARED BY LUMSDEN ASSOCIATES, P.C.
- THE DEVELOPER SHALL RECORD A DOCUMENT IN THE LAND RECORDS OF THE CLERK OF THE COURT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FOR ANY DWELLINGS SERVED BY THE PRIVATE ROADS, OBLIGATING THE PROPERTY OWNER'S TO PAY FOR UPKEEP AND MAINTENANCE OF THE PRIVATE ROADS ON A PRO-RATA BASIS OR OTHER BASIS AS DETERMINED.
- THE PRIVATE STREET SERVING PROPOSED LOTS 1 - 8, AS DEPICTED ON THE CONCEPT PLAN, SHALL BE CONSTRUCTED TO MEET VDOT STANDARDS FOR SUBDIVISION STREETS.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED TO ANY RESIDENCE SERVED BY SUCH PRIVATE ROAD PRIOR TO AN INITIAL COAT OF SURFACE TREATMENT BEING PLACED ON SUCH PRIVATE ROAD SERVING THE RESIDENCE. THE FINAL ASPHALT SURFACE COAT SHALL BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR 75% OF THE DWELLINGS TO BE SERVED BY THE RESPECTIVE PRIVATE ROAD. SURETY SHALL BE POSTED WITH FRANKLIN COUNTY FOR THE PRIVATE ROADS AND SHALL NOT BE RELEASED UNTIL THE COUNTY HAS RECEIVED A CERTIFICATION FROM AN INDIVIDUAL LICENSED BY THE COMMONWEALTH OF VIRGINIA TO PROVIDE SUCH SERVICE STATING THAT THE ROAD MEET PAVEMENT REQUIREMENTS CONSISTENT WITH VDOT SUBDIVISION STREET REQUIREMENTS.

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT FRANKLIN COUNTY TAX ASSESSMENT MAP 51-37.
- INST NO. 070005151 DB 912 PG 820
- OWNER/DEVELOPER: RKL HOLDINGS, LLC
(ATTN: RONALD WILLARD, II)
P. O. BOX 540
WIRTZ, VA 24184 (540) 721-5288
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2007.
- TOPOGRAPHY DATA BASED ON A TOPOGRAPHIC FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2007.
- A TITLE REPORT WAS NOT FURNISHED FOR THIS PROPERTY.
- INDIVIDUAL LOTS WILL BE ACCESSED BY A PRIVATE ROAD, OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OF THE DEVELOPMENT. ALL LOTS WILL BE SERVICED BY PRIVATE SEPTIC SYSTEM.
- THE DOCK AREA, OPEN SPACE AND DEVELOPED OPEN SPACE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION OF THE DEVELOPMENT.
- THE OPEN SPACE AS DENOTED HEREON SHALL BE PRESERVED IN A NATURAL STATE TO THE MAXIMUM EXTENT POSSIBLE.
- NO PORTION OF THE PROPERTY IS LOCATED UNDER WATER.
- A PORTION OF THIS PROPERTY LIES WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 150061 0240 b, DATED OCTOBER 5, 2001. ZONE "AE & X".

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF FRANKLIN STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

LEGEND	
	DROP INLET
	LIGHT POLE
	CABLE TV PEDESTAL
	SANITARY SEWER CLEANOUT
	DRAINAGE MANHOLE
	UTILITY POLE
	TELEPHONE PEDESTAL
	GUY WIRE
	ASPHALT PAVEMENT
	CONCRETE
	WATER METER
	FIRE HYDRANT
	CHAINLINK FENCE
	WOVEN WIRE FENCE
	WOODEN FENCE
	ELECTRIC PANEL
	GAS VALVE
	GAS METER
	NATURAL GAS LINE
	WATER LINE
	OVERHEAD TELEPHONE
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC
	SPOT ELEVATION
	WATER MANHOLE

ABBREVIATIONS	
CONC.	CONCRETE
D.B.	DEED BOOK
I.P.F.	IRON PIN FOUND
P.G.	PAGE
M.B.	MAP BOOK
R/W	RIGHT-OF-WAY
RC-P	RE-ENFORCED CONCRETE PIPE
S.F.	SQUARE FEET
SS	SANITARY SEWER LINE
W	WATERLINE

GRADING NOTES

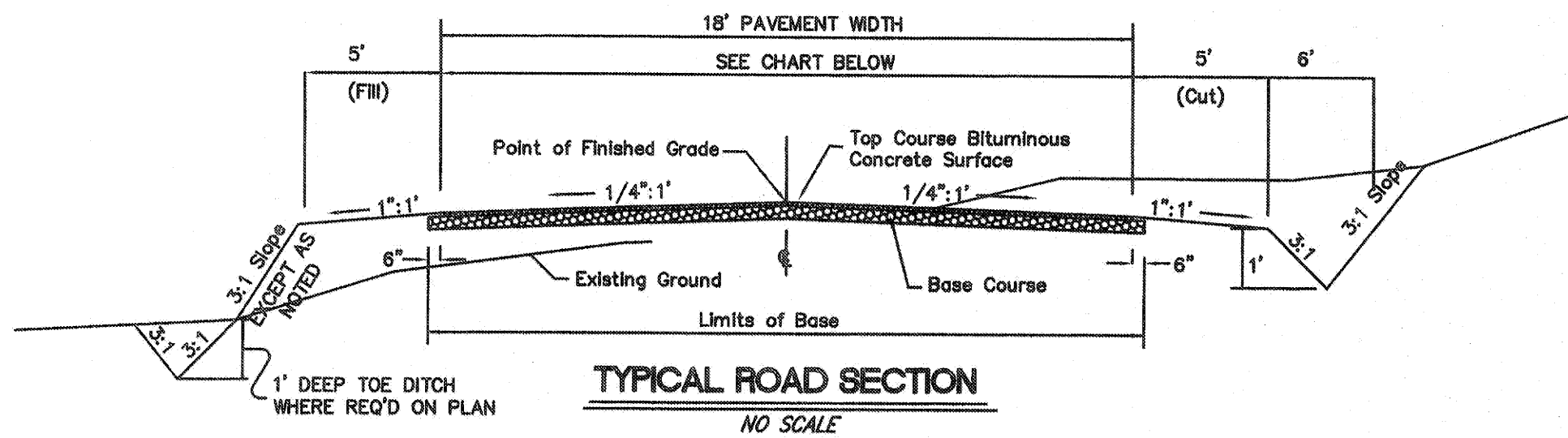
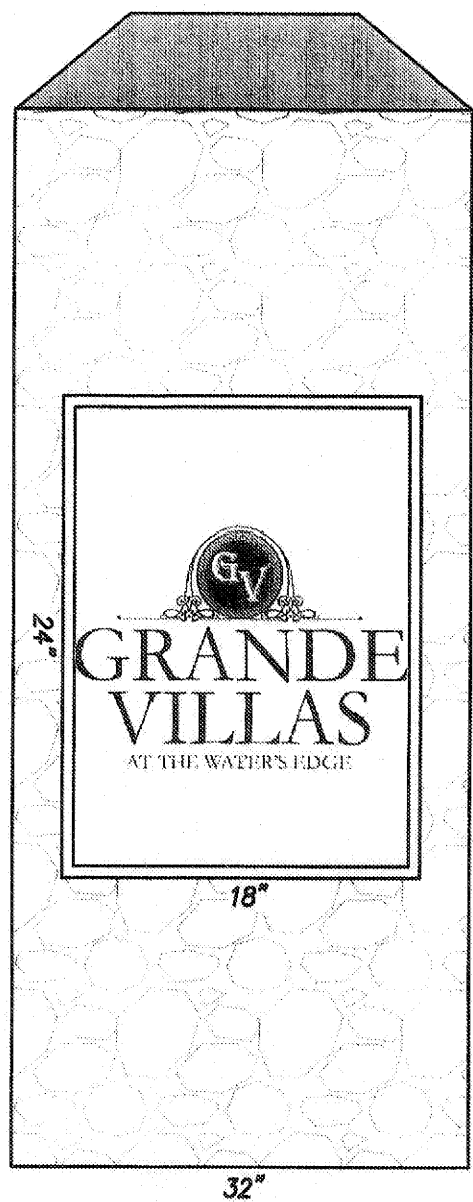
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHALL BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
- ALL DITCHES, SWALES, AND NATURAL WATERCOURSES DOWNSTREAM OF THIS PROJECT SHOULD BE REVIEWED IN THE FIELD, DURING AND AFTER CONSTRUCTION, TO ENSURE COMPLIANCE WITH DCR'S MS-19.

LANDSCAPE NOTES:

- ALL TREE MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS AS DESCRIBED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL SHRUB MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS AS DESCRIBED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. SHRUB MATERIALS SHALL BE WELL-ROOTED AND A MINIMUM OF 3-GALLON CONTAINER SIZE.
- AT THE TIME OF DELIVERY, ALL PLANT MATERIALS NOT IMMEDIATELY PLACED IN THEIR FINAL PLANTING LOCATION MUST BE STORED IN A SHADED LOCATION WITH ADEQUATE AIR CIRCULATION, AND BE KEPT MOIST.
- THIS PLAN IS TO SATISFY THE MINIMUM REQUIREMENTS OF FRANKLIN COUNTY. THE DEVELOPER MAY INCREASE PLANTING DENSITY BEYOND THE MINIMUM REQUIREMENTS.
- A PERIMETER LANDSCAPE "A" BUFFER IS REQUIRED PER SECTION 25-98(b) OF THE ZONING ORDINANCE. WITHIN THIS PLANTING STRIP A MINIMUM OF ONE (1) SMALL DECIDUOUS TREE OR (1) EVERGREEN TREE SHALL BE PLANTED EVERY FIFTY (50) LINEAR FEET. IN ADDITION, A MINIMUM OF TWO (1) MEDIUM SHRUBS SHALL BE PLACED IN THE PLANTING STRIP FOR EVERY TWENTY FIVE (25) LINEAR FEET OF FRONTAGE. THIS SHOULD NOT BE CONSTRUED AS MEANING THAT THE PLANTS MUST BE UNIFORMLY PLANTED.

ENTRANCE SIGN ON STONE COLUMN

NO SCALE
OR AS SPECIFIED BY OWNER
ONLY ONE COLUMN SHALL HAVE A SIGN.



NOTES:

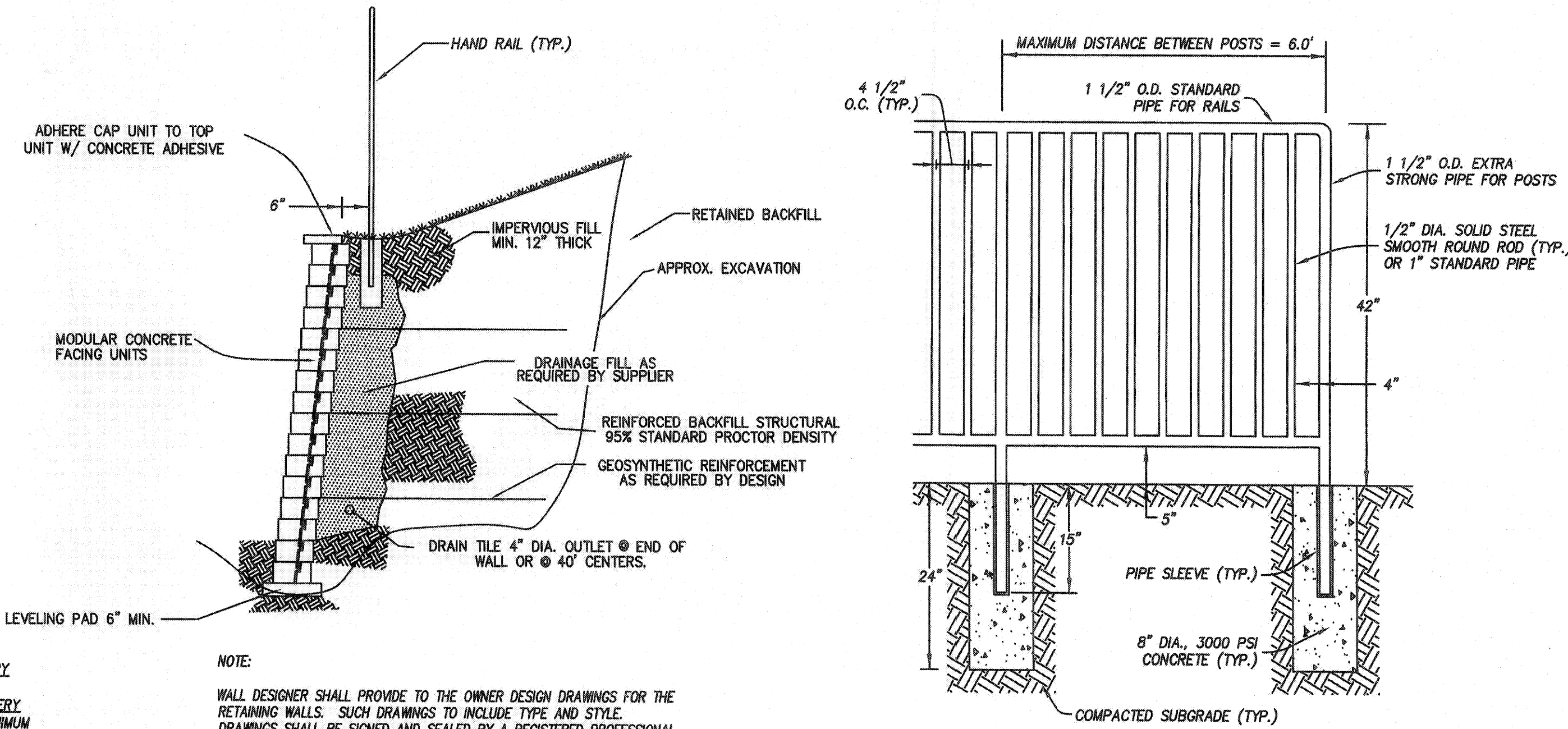
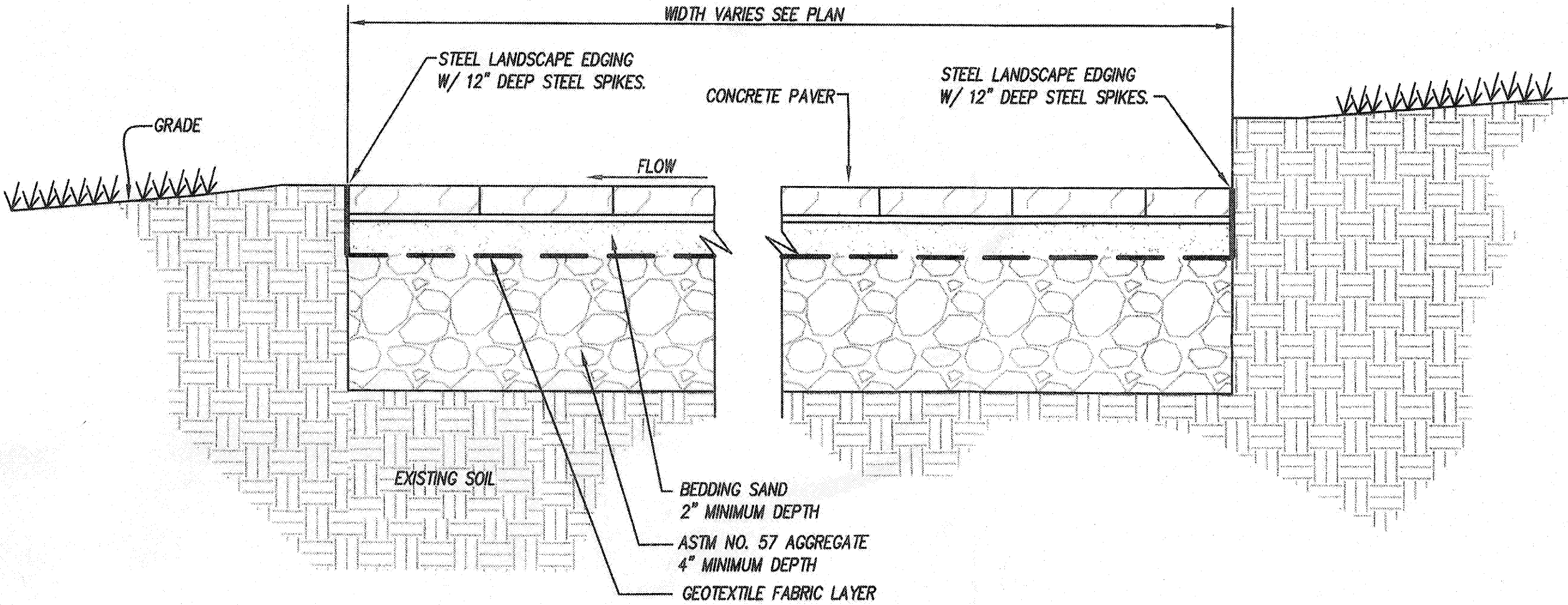
- THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/S.Y. OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/S.Y. OF SIZE 8-P AGGREGATE BEFORE PLACING OF THE SM-9.5A. THIS IS NOT REQUIRED WHEN BM-25 ASPHALT LAYER IS PLACED BETWEEN 21A AND SM-9.5A LAYERS.
- A LAYER OF APPROXIMATELY 6\"/>
- THE PAVEMENT DESIGNS BELOW ARE BASED ON A PREDICTED SUBGRADE CBR VALUE OF 8 AND A RESILIENCY FACTOR (RF) OF 1.0 AS SHOWN IN APPENDIX 1 OF THE 2000 DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS. THE SUBGRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY PRIOR TO BASE PLACEMENT. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATION OF REQUIRED TESTS. SHOULD THE SUBGRADE CBR VALUE OR RF VALUE BE LESS THAN THE PREDICTED VALUE, ADDITIONAL BASE MATERIAL WILL BE REQUIRED BASED ON DEPARTMENTAL SPECIFICATIONS.

PAVEMENT SPECIFICATIONS

STREET NAME	FROM STATION TO STATION	PAVEMENT WIDTH	PAVEMENT SPECIFICATION	VEHICLE TRIPS PER DAY
GRANDE VILLAS DRIVE	10+00 TO CUL DE SAC	18'	2" APSPHALT CONCRETE - TYPE SM-9.5A 8" AGGREGATE BASE - TYPE 21A	100

CONCRETE PAVER SECTION

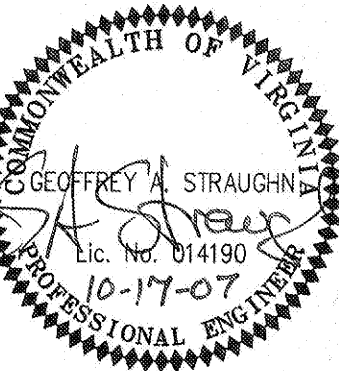
NO SCALE



RETAINING WALL WITH HAND RAIL

NO SCALE

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



NOTES & DETAILS

GRANDE VILLAS
AT THE WATERS EDGE
PREPARED FOR
RKL HOLDINGS, LLC
UNION HALL MAGISTERIAL DISTRICT
FRANKLIN COUNTY, VIRGINIA

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		

DATE: OCTOBER 17, 2007
SCALE: NONE
COMMISSION NO: 07-037
SHEET 3 OF 11