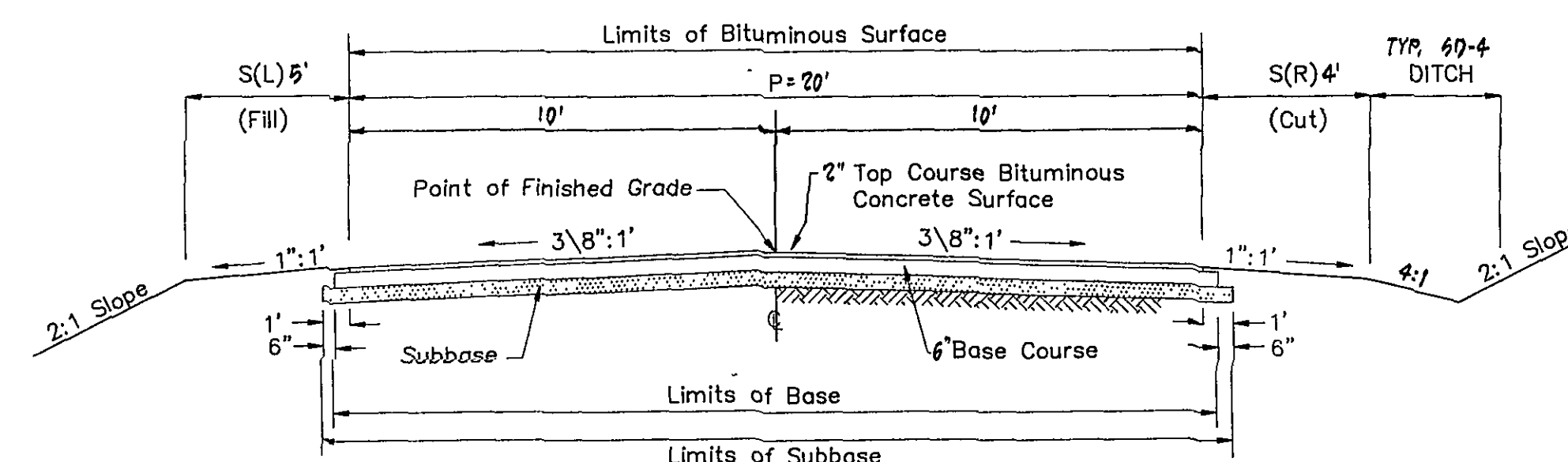


TYPICAL TOWNHOUSE BLOCK DETAIL

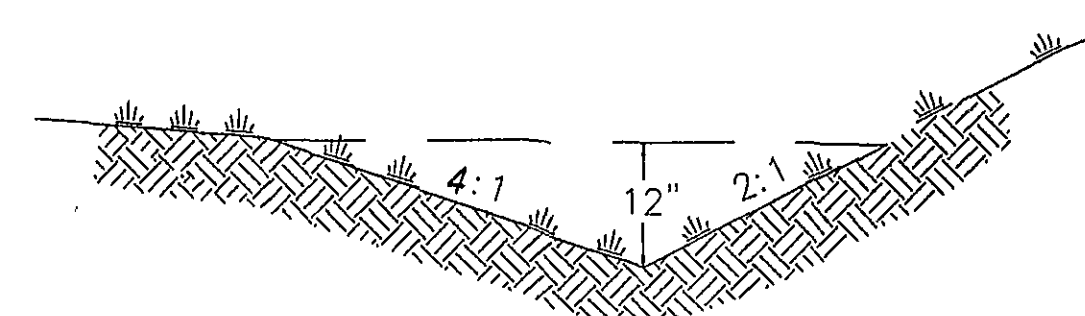
SCALE: 1" = 10'



TYPICAL ROAD SECTION

ISLAND GREEN SOUTH CIRCLE

(PRIVATE ROAD)



SD-4 DITCH DETAIL

NO SCALE

GENERAL NOTES:

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED IN FRANKLIN COUNTY TAX ASSESSMENT MAP 51-AND IS A PORTION OF PARCEL 37.
2. THE PROPERTY SHOWN ON THESE PLANS IS ZONED RPD.
3. DEVELOPER: WILLARD CONSTRUCTION OF ROANOKE VALLEY, INC. 4220 CYPRESS PARK DRIVE, ROANOKE, VIRGINIA 24012
4. THE ASSESSED SITE AREA IS APPROXIMATELY 3.74 ACRES.
5. BOUNDARY SURVEY PREPARED BY LUMSDEN ASSOCIATES AND IS CERTIFIED CORRECT.
6. NO TITLE REPORT FURNISHED FOR THIS PROPERTY.
7. THE PROPERTY SHOWN ON THESE PLANS IS TO BE SERVED BY WATERFRONT WATERWORKS (PUBLIC WATER) AND DRAINFIELDS.
8. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PRIVATE ROADS.
9. PLANIMETRIC DATA COMPILED FROM AERIAL PHOTOGRAPHY. CONTOUR INTERVAL = 2'.
10. THE PROPERTY ON THESE PLANS FALL WITHIN THE 100 YEAR FLOOD PLAIN AS DESIGNATED BY FEDERAL INSURANCE RATE MAP.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT FRANKLIN COUNTY STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM FRANKLIN COUNTY OR ANY OTHER AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN MADE BY THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. LUMSDEN ASSOCIATES, P.C. DOES NOT CERTIFY TO THE LOCATION OF OR TO THE EXISTENCE OF ANY EXISTING UNDERGROUND UTILITIES. THE UNDERGROUND UTILITIES SHOWN ARE FROM RECORDS. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATION OR THAT THEY HAVE ALL BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THESE TEST HOLES WILL BE MADE TO VERIFY ALL CROSSINGS BETWEEN NEW AND EXISTING FACILITIES AND AT CRITICAL GRADE CHANGES IF CONDITIONS ARE FOUND IN THE FIELD WHICH ARE MATERIALLY DIFFERENT FROM THE PLANS. THE CONTRACTOR SHALL NOTIFY LUMSDEN ASSOCIATES, P.C., SO THAT APPROPRIATE REVISIONS WILL BE MADE TO THE PLANS. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.

SITE AND ZONING TABULATIONS

ZONING - RPD (RESIDENTIAL PLANNED UNIT DEVELOPMENT)
PROPOSED USE - A RESIDENTIAL SUBDIVISION FOR TOWNHOUSE, ATTACHED LOTS
ACREAGE - 3.7474 ACRES
PROPOSED DENSITY - 8 LOTS PROPOSED - 2.13 D.U. PER/ACRE
MAXIMUM ALLOWABLE BUILDING HEIGHT - 40'
MINIMUM SIDE YARD SETBACK - 10'
MINIMUM REAR YARD - 30' FROM FULL POND LEVEL
MINIMUM DISTANCE BETWEEN BUILDINGS - 20'
APPROXIMATE OPEN SPACE PROPOSED FOR PHASE II - 2.53 ACRES

SHEET REFERENCES:

SEE SHEET #3 FOR RECORD MAP
SEE SHEET #4 FOR NOTES & DETAILS
SEE SHEET #5 FOR DIMENSIONAL LAYOUT & UTILITIES
SEE SHEET #6 FOR SITE PLAN
SEE SHEET #7 FOR PROFILES, ROAD, WATER & SEWER
SEE SHEET #8 FOR SEWER CONSTRUCTION SPECIFICATIONS
SEE SHEET #9 FOR WATER CONSTRUCTION SPECIFICATIONS
SEE SHEET #10 FOR EROSION CONTROL & DRAINAGE DIVIDES

REVISION	DATE	DESCRIPTION
DESIGNED	GMP	NOTES & DETAILS FOR
DRAWN	PAM, RAG	"ISLAND GREEN POINTE, PHASE II" at
CHECKED	GUR	THE WATERS EDGE
		PREPARED FOR
		WILLARD CONSTRUCTION OF ROANOKE VALLEY, INC.
		UNION HALL MAGISTERIAL DISTRICT
		FRANKLIN COUNTY, VIRGINIA
		LUMSDEN ASSOCIATES, P.C.
		ENGINEERS-SURVEYORS-PLANNERS
		ROANOKE, VIRGINIA
		SCALE: AS SHOWN
		DATE: 10 JAN. 1992
		COMM: # 84-065
		SHEET 4 of 11

