

# SITE AND ZONING TABULATIONS

CURRENT ZONING: RESIDENTIAL PLANNED UNIT DEVELOPMENT (RPD)  
 PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS  
 SITE AREA: 8.682 AC.  
 MINIMUM REQUIRED LOT AREA: 15,000 SF  
 MINIMUM REQUIRED LOT WIDTH: 100'  
 MINIMUM REQUIRED ROAD FRONTAGE: 100'  
 PROPOSED NUMBER OF RESIDENTIAL UNITS: 9  
 PROPOSED RESIDENTIAL DENSITY: 1.04 DWELLING UNITS PER GROSS ACRE  
 PROPOSED BUILDING HEIGHT: 2 STORY  
 MINIMUM REQUIRED SETBACKS: FRONT - 55' FROM CENTERLINE OF SPECIFIED RIGHT-OF-WAY OR 30' FROM EDGE OF THE RIGHT-OF-WAY, WHICHEVER IS GREATER  
 SIDE - 10 PERCENT OF THE ROAD FRONTAGE DISTANCE WITH A MINIMUM OF 10' AND MAXIMUM OF 12'  
 REAR - 30' MINIMUM  
 PROPOSED OPEN SPACE: 7.334 ACRES OR 84.5 PERCENT OF GROSS AREA

# GENERAL NOTES

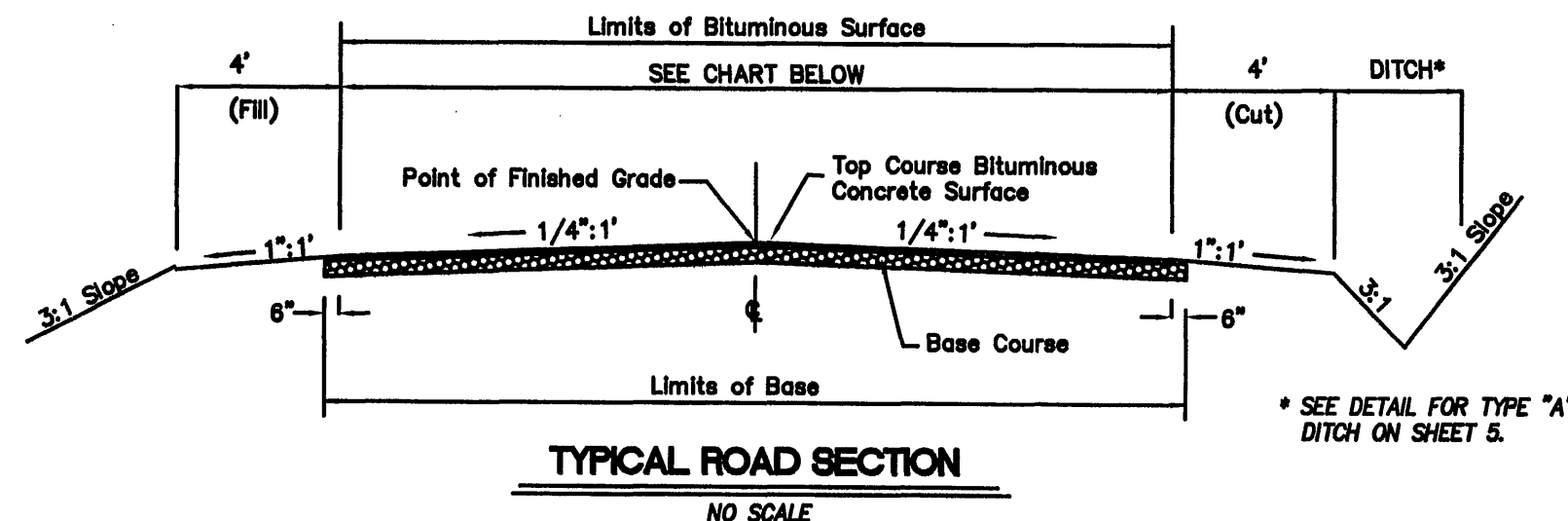
- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT FRANKLIN COUNTY TAX ASSESSMENT MAP 51-37.
- LEGAL REFERENCE: D.B. 384, P.G. 726
- OWNER/DEVELOPER: WILLARD CONSTRUCTION OF ROANOKE VALLEY, INC.  
 (ATTN: RONALD WILLARD, SR.)  
 P.O. BOX 540  
 WITZ, VA 24184 (540) 721-5288
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2008.
- TOPOGRAPHY DATA BASED ON A PARTIAL CONVENTIONAL TOPOGRAPHIC FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2008, AERIAL MAPPING BY MCKENZIE SNYDER, INC. IN DECEMBER 2005.
- A TITLE REPORT WAS NOT FURNISHED FOR THIS PROPERTY.
- INDIVIDUAL LOTS WILL BE ACCESSED BY A PUBLIC ROAD, ALL LOTS WILL BE SERVED BY PRIVATE SEPTIC SYSTEM AND PUBLIC WATER.
- THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 510061 0240 B, DATED OCTOBER 5, 2001. ZONE "X".

# CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF FRANKLIN STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

# GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 8 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHALL BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
- ALL DITCHES, SWALES, AND NATURAL WATERCOURSES DOWNSTREAM OF THIS PROJECT SHOULD BE REMOVED IN THE FIELD, DURING AND AFTER CONSTRUCTION, TO ENSURE COMPLIANCE WITH DCR'S MS-18.



# NOTES:

- THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/S.Y. OF RC-250 ASPHALT AND COVERED WITH 18 TO 18 LBS/S.Y. OF SIZE 8-P AGGREGATE BEFORE PLACING OF THE SM-9.5A. THIS IS NOT REQUIRED WHEN BM-25 ASPHALT LAYER IS PLACED BETWEEN 21A AND SM-9.5A LAYERS.
- A LAYER OF APPROXIMATELY 5" OF SURGE STONE SHALL BE PLACED PRIOR TO THE INSTALLATION OF THE TYPE 21A BASE STONE.
- THE PAVEMENT DESIGNS BELOW ARE BASED ON A PREDICTED SUBGRADE CBR VALUE OF 8 AND A RESILIENCY FACTOR (RF) OF 1.0 AS SHOWN IN APPENDIX I OF THE 2000 DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS. THE SUBGRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY PRIOR TO BASE PLACEMENT. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATION OF REQUIRED TESTS. SHOULD THE SUBGRADE CBR VALUE OR RF VALUE BE LESS THAN THE PREDICTED VALUE, ADDITIONAL BASE MATERIAL WILL BE REQUIRED BASED ON DEPARTMENTAL SPECIFICATIONS.

PAVEMENT SPECIFICATIONS				
STREET NAME	FROM STATION TO STATION	PAVEMENT WIDTH	PAVEMENT SPECIFICATION	VEHICLE TRIPS PER DAY
EQUESTRIAN DRIVE	10+00 TO CUL DE SAC	18'	2" ASPHALT CONCRETE - TYPE SM-9.5A 6" AGGREGATE BASE - TYPE 21A	70

LEGEND	
ITEM	EXISTING PROPOSED
Pavement	— — — — —
Storm Drain Line	— — — — —
Waterline	— — — — —
Hydrant	— — — — —
Underground Electric Line	— — — — —
Overhead Electric Line	— — — — —
Underground Gas Line	— — — — —
Underground Telephone Line	— — — — —
Contours	— — — — —
Tree Line	— — — — —

ABBREVIATIONS	
D.E.	DRAINAGE EASEMENT
W.L.E.	WATER LINE EASEMENT
D.F.E.	DRAINFIELD EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
ESMT	EASEMENT
M.B.L.	MINIMUM BUILDING LINE
R/W	RIGHT OF WAY
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.B.	PLAT BOOK
Pg.	PAGE
No.	NUMBER
Typ.	TYPICAL
Sta.	STATION
L.T.	LEFT
R.T.	RIGHT
W	WATER LINE

# SECTION No. 9 THE WATER'S EDGE PREPARED FOR WILLARD CONSTRUCTION OF ROANOKE VALLEY, INC. UNION HALL MAGISTERIAL DISTRICT FRANKLIN COUNTY, VIRGINIA

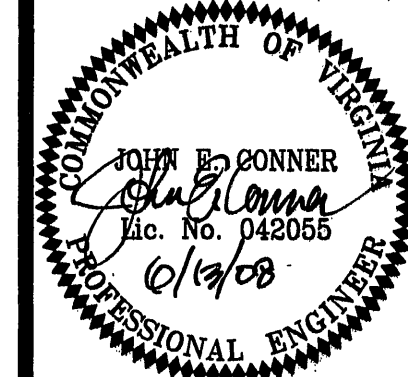
NO.	DATE	DESCRIPTION	1	2	3	4	5
DATE:		JUNE 13, 2008					
SCALE:		1" = 50'					
COMMISSION NO.:		2006-384					
SHEET		4 OF 9					

**LUMSDEN ASSOCIATES, P.C.**  
 ENGINEERS-SURVEYORS-PLANNERS  
 ROANOKE, VIRGINIA

**LA**

4664 BRAMBLETON AVENUE  
 P.O. BOX 20669  
 ROANOKE, VIRGINIA 24018

PHONE: (540) 775-4411  
 FAX: (540) 775-9445  
 E-MAIL: MAIL@LUMSDENPC.COM



# DIMENSIONAL LAYOUT