

Sewer: Private - Individual drainfields provided for each proposed lot. Drainfields not located on the individual lot will require effluent to be pumped from the individual lot to the proposed drainfield. A separate pump plan will be required to be completed prior to permitting the individual lot for septic.

**BEFORE YOU DIG ANYWHERE IN
VIRGINIA! CALL 1-800-552-7001**

**VA LAW REQUIRES 48 HOURS
NOTICE BEFORE YOU EXCAVATE.**

OWNER'S STATEMENT:

LOCAL APPROVALS:

REVISED: MAY 10, 2006

ADDITIONAL VDOT NOTES:

1. VDOT approval of subdivision road plans does not preclude the right to add additional facilities such as seeding, paving, sediment control items, etc., as may be deemed necessary by the Department prior to the acceptance of such roads in order to limit siltation and pollution of nearby lakes, ponds, streams, and adjacent property.
2. The Department's approval of these plans expires three years from date approval.
3. This project anticipates work along Morewood Road (VA Secondary Route #116) and connecting to Morewood Road. The Owner/Contractor shall obtain a Street Opening Permit prior to any work being performed within the existing right of way. Connection to the existing waterline does not anticipate any open cutting of Morewood Road. Streets to be graded, paved, and all structural components erected in accordance with the Virginia Department of Transportation Road and Bridge Specifications and tested in accordance with standard policies. The Developer must contact the Office of the Resident Engineer prior to beginning any construction, at which time an inspection and testing procedure policy will be drawn. The Developer may produce test reports from approved independent laboratories or solicit testing by VDOT. In either event, it shall be at the Developer's expense.
5. Gas or petroleum transmission lines will not be permitted within the pavement (4' back of curb to back of curb either side) or the shoulder element of this development. Service lateral crossing, and pipe lines located outside the pavement, but inside the Right Of Way will be constructed in conformity with AS B-31.8 Specifications and Safety Regulations. Distribution lines with pressures less than 120 lbs. are unaffected by the above.
6. Permits will be required for all utilities within Street Right Of Way prior to acceptance into the secondary highway system.
7. Permits will be required for all private entrances constructed on street right of ways prior to acceptance into the secondary highway system.
8. Care must be taken during construction to prevent erosion, dust, and mud from damaging adjacent property, clogging ditches, tracking public streets, and otherwise creating a public or private nuisance to surrounding areas.
9. Drainage easements must be defined by excavated ditches or channels for their full length to well-defined natural watercourses.
10. This road will be reviewed during construction for the need and limits of paved gutters.
11. If erosion is encountered in any drainage easement, it will be the responsibility of the Developer to sod, rip-rap, gravel, pave, or to do whatever is necessary to correct the problem.
12. Permits will be required for all utilities within 25 feet required at all street intersections.
13. While these plans have been approved, such approval does not exempt connections with existing state maintained roads from critical review at the time permit applications are made. This is necessary in order that the prevailing conditions are taken into consideration regarding safety requirements. Additional safety accommodations such as turning lanes may or may not be required.

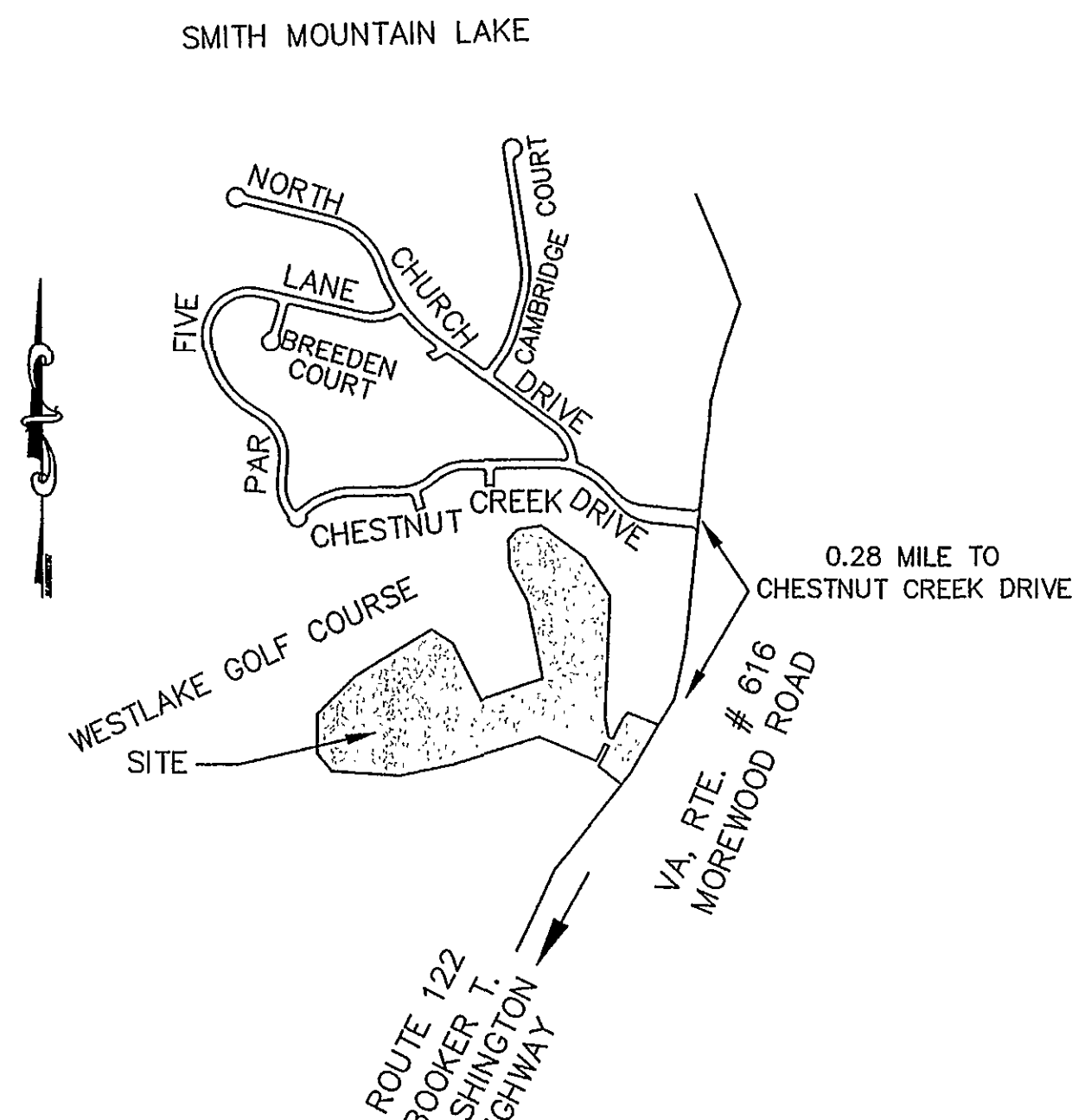
CONTACT INFORMATION:

Engineer & Surveyor : **Parker Design Group, Inc.**
816 Boulevard
Salem, Virginia
PH: 540-387-1153

Owner: **Chestnut Creek Land Company LLC**
13161 Booker T. Washington Highway
Hardy, VA 24101
PH: 540-721-0298

Developer: **CIR Development Companies**
13161 Booker T. Washington Highway
Hardy, VA 24101
PH: 540-721-0298











Note: A portion of the base information has been surveyed and received from Lumsden and Associates, PC. PH - 540-774-4411

**VICINITY MAP**

SCALE: 1" = 1,000'

SHEET INDEX:

C01	COVER SHEET
C02	EXISTING CONDITIONS & DEMOLITION PLAN
C03	OVERALL PLAN & SHEET INDEX
C04	SUBDIVISION UTILITY PLAN - ENTRANCE
C05	SUBDIVISION UTILITY PLAN - LOOP ROAD
C06	GRADING & EROSION SEDIMENT CONTROL PLAN - ENTRANCE
C07	GRADING & EROSION SEDIMENT CONTROL PLAN - LOOP ROAD
C08	EROSION & SEDIMENT CONTROL NARRATIVE & DETAILS
C09	RESERVE ROAD & WATERLINE PROFILE
C10	BENTGRASS ROAD & STORM PROFILES, AND DETAILS
C11	WATER DETAILS
C12	RESERVE ROAD CROSS SECTIONS
C13	RESERVE ROAD CROSS SECTIONS
C14	BENTGRASS ROAD CROSS SECTIONS

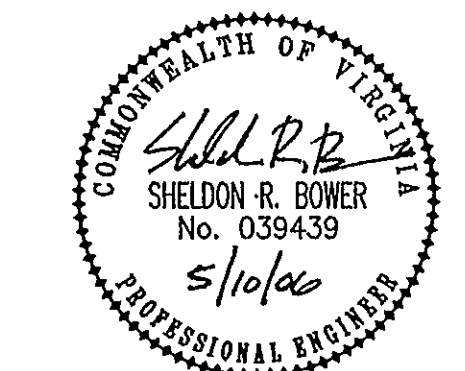
- | | | | |
|---|---------------------------------|---|-----------------------------------|
|  | BASIS, STORM SEWER |  | SILT FENCE |
|  | EXIST. SANITARY SEWER |  | PROP. TREELINE |
| | PROP. UNDERGROUND ELEC. LINE | | RESOURCE MANAGEMENT AREA BOUNDARY |
|  | PROP. UNDERGROUND ELEC. SERVICE |  | RESOURCE PROTECTION AREA BOUNDARY |
|  | PROP. WATERLINE |  | DITCH LINE |
|  | PROP. AUDIO CABLE | | |
|  | EXIST. TREELINE | | |
| | EXIST. EDGE OF PAVEMENT | | |
- SEE SHEET C06 FOR EROSION AND SEDIMENT CONTROL LEGEND.

GENERAL NOTES:

1. The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
2. It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
3. The contractor shall be responsible of obtaining all necessary permits before beginning construction.
4. All construction will be in accordance with the standards and specifications of the local governing agency and VDOT.
5. Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
6. Contractor shall coordinate installation of permanent electrical service, telephone service, gas and cable TV.
7. Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
8. Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
9. Distances and radii referred to are to the edge of pavement, unless otherwise noted.
10. Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
11. All utilities shall be underground installation.
12. All utilities will be visually inspected by the local governing agency's inspector prior to backfilling the trenches, including utility crossings.
13. Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing local governing agency mapping.
14. All utilities to be maintained by the local governing agency shall be within the dedicated rights-of-way or easements.
15. Contractor shall contact the Franklin County Director of Utilities (540-483-6660) 24 hours in advance of tying to the existing water main in Morewood Road. The developer shall set up an appointment with the Franklin County Public Works (540-483-6676) prior to turning water system over to the county.
16. A field review shall be made by the local governing agency during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Contractor shall install additional measures as determined and required by the local governing authority.
17. Proposed signage shall be permitted separately in accordance with the local governing agency regulations.
18. The contractor or developer is required to notify the local governing agency Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- A. Installation of approved erosion control devices
- B. Clearing and grubbing
- C. Subgrade excavation
- D. Installing storm sewers or culverts
- E. Placing gravel base
- F. Placing any roadway surface
- G. Installing water lines
- H. Installing sanitary sewer lines

19. A pre-construction conference shall be scheduled with all governing agencies, to be held at least 48 hrs prior to any construction.
20. Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
21. An approved set of plans and all permits must be available at the construction site.
22. Field construction shall honor proposed drainage divides as shown on plans.
23. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
24. Pavement sections on approved plans are based on a minimum CBR of 8. CBR tests are to be completed and submitted to VDOT and to the local governing authority Engineering Division prior to placement. CBR values < 8 will require revised pavement sections. Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
25. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
26. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
27. The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
28. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
29. The developer or contractor shall supply the local governing agency with correct As-Built plans before final acceptance.
30. Field corrections shall be approved by the local governing agency Engineering Division prior to such construction.
31. 100 year floodway and floodplain information shall be shown where applicable.
32. Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer.
33. Parker Design Group assumes no responsibility for adequacy of plans or for information on plans until such plans have been approved by the required public agencies.
34. Any work commenced on a project prior to plan approval is at the sole risk of the Developer.
35. Parker Design Group does not guarantee the completion or quality of performance of the contracts or the completion or quality of performance of contracts by subcontractors or other third parties.
36. The contractor shall met all requirements of Chapter 22 of the Franklin County Code, and the "Franklin County rules and regulations for public water service", and the Virginia Department of Health.
37. All culverts to be installed in the roadside ditch for private drives shall be at a minimum 15" Corrugated Metal with minimum 9" cover.
38. All corrugated metal pipe shall be 16 gage aluminumized steel, Type 2, unless otherwise stated.



The Reserve at Westlake
Prepared for CIR Developments
Gills Creek Magisterial District
Franklin County, Virginia

REVISIONS:

COUNTY COMMENT
MAY 10, 200

DESIGNED BY: SRB / PJI

DRAWN BY: SRB / PJI

CHECKED BY: SR

SCALE: As Show

DATE: February 22, 200

SHEET TITLE:

Cover Sheet

C01
01 OF 14
PROJECT NUMBER:
05-0031-02