

- A**
TAX #30-52.16
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
D.B. 667, PG. 367
ZONED: SM
- B**
TAX #30-52.17
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
D.B. 667, PG. 367
ZONED: SM
- C**
TAX #30-52.18
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
D.B. 667, PG. 367
ZONED: SM
- D**
TAX #30-52.19
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
D.B. 667, PG. 367
ZONED: SM
- E**
TAX #30-52.23
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
D.B. 667, PG. 367
ZONED: SM
- F**
TAX #30-52.06
PROPERTY OF
A C T PROPERTIES SMITH
MOUNTAIN LAKE
D.B. 802, PG. 1
ZONED: SM
- G**
TAX #30-52.05
PROPERTY OF
KROGER LIMITED
PARTNERSHIP I
D.B. 767, PG. 1266
ZONED: SM
- H**
TAX #30-52.04
PROPERTY OF
A & H PARTNERS
D.B. 773, PG. 2256
ZONED: SM

TAX #30-1.5
PROPERTY OF
WESTLAKE II CORPORATION
D.B. 873, PG. 133
ZONED: PCO

SEE SHEET 4

TAX #30-52.00
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
D.B. 667, PG. 367
ZONED: PCO

TAX #30-52.07
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
P.B. 777, PG. 1855
ZONED: SM

TAX #30-52.03
PROPERTY OF
WILLARD CONSTRUCTION OF
SMITH MOUNTAIN LAKE, LLC
P.B. 777, PG. 1855
ZONED: SM

TAX #30-52.02
PROPERTY OF
KROGER LIMITED PARTNERSHIP I
D.B. 767, PG. 1266
ZONED: PCO

TAX #30-52.11
PROPERTY OF
RUNK & PRATT OF SML, LLC
D.B. 907, PG. 1757
ZONED: PCO

GRAPHIC SCALE

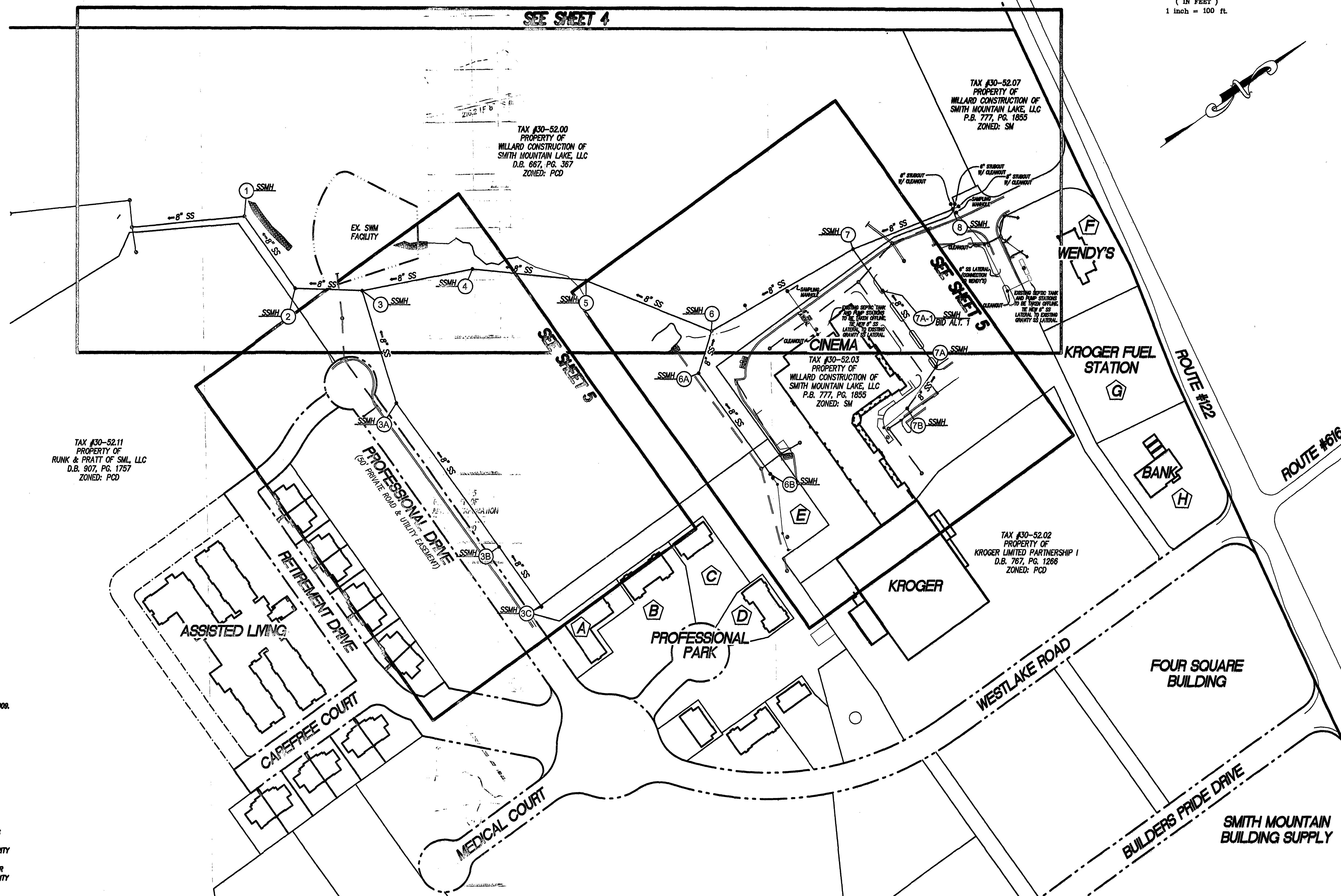
100 0 50 100 200 400
(IN FEET)
1 inch = 100 ft.

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT FRANKLIN COUNTY TAX ASSESSMENT MAP Nos. 30-52.00, 30-52.03, & 30-52.23.
- OWNER/DEVELOPER: WILLARD CONSTRUCTION OF SMITH MOUNTAIN LAKE, LLC (ATTN: RON WILLARD, II) P.O. BOX 540 CHITZ, VA 24104 (540) 721-8288
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY BERNLEY, HOWELL & ASSOCIATES, P.C., DATED JANUARY 11, 2009.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2009.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, FRANKLIN COUNTY, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILENT OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED SANITARY SEWER EXTENSION.

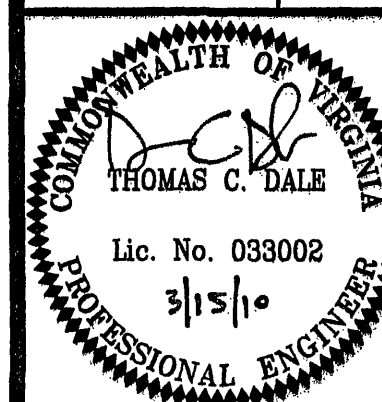
CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF FRANKLIN STANDARDS AND SPECIFICATIONS.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY AND/OR FRANKLIN COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEWER TAPS SHALL BE LOCATED BY THE CONTRACTOR AND MADE BY THE WESTERN VIRGINIA WATER AUTHORITY AT THE CONTRACTOR'S EXPENSE.
- ALL SANITARY SEWER FACILITIES SHALL BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- UPON SITE INSPECTION, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY FRANKLIN COUNTY PERSONNEL IF INSTALLED MEASURES ARE DEEMED INADEQUATE.



SANITARY SEWER MAIN BEARINGS AND DISTANCES			SANITARY SEWER MAIN BEARINGS AND DISTANCES		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
EX TO 1	N 30° 06' 03" E	217.71'	3 TO 3A	S 71° 29' 35" E	222.04'
1 TO 2	S 89° 59' 52" E	168.50'	3A TO 3B	N 89° 59' 57" E	335.73'
2 TO 3	N 37° 38' 22" E	129.34'	3B TO 3C	S 89° 59' 42" E	140.00'
3 TO 4	N 24° 46' 03" E	216.25'	6 TO 6A	S 38° 32' 17" E	83.85'
4 TO 5	N 41° 15' 30" E	220.22'	6A TO 6B	S 89° 59' 59" E	234.24'
5 TO 6	N 57° 09' 42" E	260.46'	7 TO 7A-1	S 89° 57' 24" E	96.84'
6 TO 7	N 06° 01' 20" E	313.25'	7A-1 TO 7A	S 89° 57' 24" E	177.21'
7 TO 8	N 13° 58' 06" E	206.76'	7A TO 7B	S 19° 03' 13" E	96.58'

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



PLAN OVERVIEW,
NOTES, & DETAILS

WESTLAKE TOWNE CENTER
EXPANSION

PREPARED FOR
WILLARD COMPANIES, INC.
GILL CREEK MAGISTERIAL DISTRICT
FRANKLIN COUNTY, VIRGINIA

REVISIONS	DATE	DESCRIPTION
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: March 15, 2010
SCALE: 1"=100'
COMMISSION NO.: 09-021
SHEET 3 OF 8

4664 BRAMBLETON AVENUE
ROANOKE, VIRGINIA 24018
PHONE: (540) 774-4411
FAX: (540) 772-7259
E-MAIL: MAIL@LUMSDENPC.COM