

DEVELOPMENT PLAN FOR WESTLAKE WELLNESS CENTER BUILDING ADDITION

SITUATED IN
GILLS CREEK MAGISTERIAL DISTRICT
FRANKLIN COUNTY, VIRGINIA

DATE: March 15, 2017

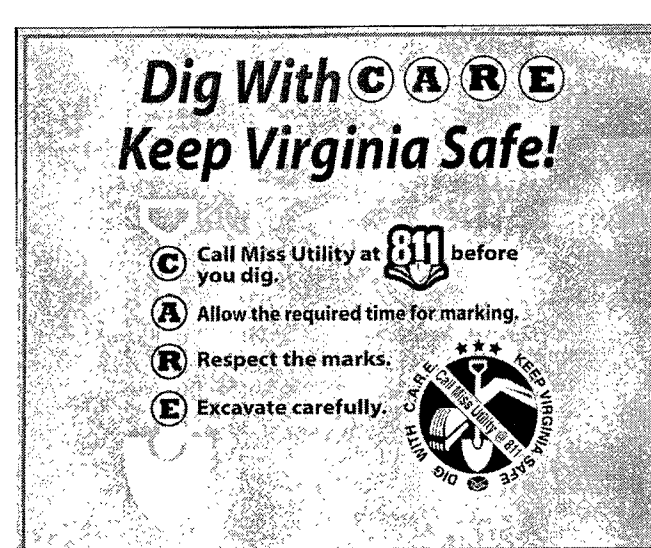
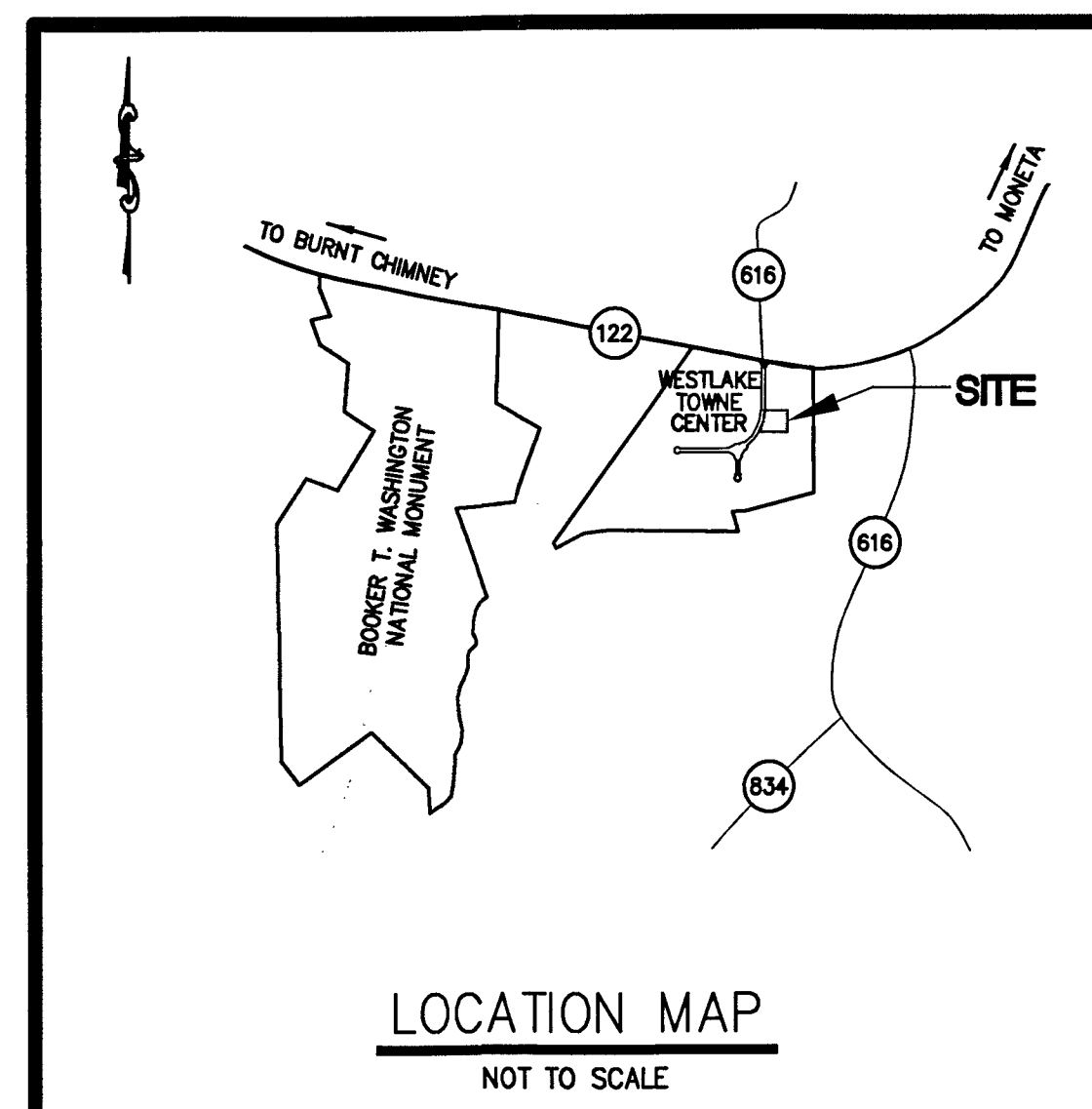
PREPARED FOR
RUNK & PRATT OF SML, LLC

APPROVED
Franklin County
Planning & Zoning
by: [Signature]
date: 4/20/17

APPROVED
Franklin County
Planning & Community Development
Erosion & Sediment Control
Signature: [Signature]
Date: 4/27/17
Borrow Site Case #12097
Randy Hodge

--INDEX OF DRAWINGS--

SHEET No.	DESCRIPTION
1.	LUMSDEN ASSOCIATES COVER SHEET
2.	NOTES & DETAILS
3.	EXISTING CONDITIONS & DEMOLITION PLAN
4.	DIMENSIONAL LAYOUT
5.	GRADING PLAN
6.	STORM DRAIN & SANITARY SEWER PROFILES
7.	EROSION & SEDIMENT CONTROL PLAN
8.	EROSION & SEDIMENT CONTROL NOTES AND DETAILS
9.	CONSTRUCTION DETAILS
10.	LANDSCAPE PLAN



NOTE: DUE TO THIS PROJECT'S CLOSE PROXIMITY TO THE CARLTON HELIPAD, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO ENSURE ALL DEBRIS REMAINS ON-SITE AND DOES NOT POSE A SAFETY RISK FOR HANGAR OR HELIPAD OPERATIONS.

PROFFERS AND CONDITIONS

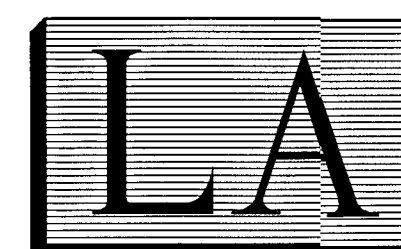
APPLICABLE PROFFERS FROM REZONING OF TAX MAP PARCEL #30-1.4 AND 52 FROM A-1 AND M-1 TO PCO, PLANNED COMMERCIAL DISTRICT, GRANTED AT PUBLIC HEARING HELD ON NOVEMBER 21, 2000:

1. DEVELOPER SHALL COMPLY WITH THE SIGN REGULATIONS OF THE FRANKLIN COUNTY ZONING ORDINANCE. FURTHERMORE, NO OFF-PREMISE SIGNS (BILLBOARDS) FRONTING ON ROUTE 122 WEST OF THE EXISTING WESTERN ROUTE 122 / 616 INTERSECTION ARE PERMITTED.
2. DEVELOPER SHALL OBTAIN NECESSARY APPROVALS FROM THE VIRGINIA DEPARTMENT OF HEALTH AND SHALL INSURE THAT THE DEVELOPMENT COMPLIES WITH CHAPTER 22 OF THE FRANKLIN COUNTY CODE.
3. DEVELOPER WILL COMPLY WITH COUNTY REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT.
4. DEVELOPER SHALL HAVE A LANDSCAPE PLAN THAT DETAILS PERIMETER AND INTERNAL PARKING LOT LANDSCAPING.

APPLICABLE CONDITIONS FROM OBTAINING OF SPECIAL USE PERMIT FOR TAX MAP PARCEL #30-1.4 FOR THE PURPOSE OF A NEW FOOD CENTER, GASOLINE SERVICE CENTER, SHOPPING CENTER, AND MOVIE THEATER, GRANTED AT PUBLIC HEARING HELD ON SEPTEMBER 17, 2002:

1. DEVELOPER WILL COMPLY WITH ALL PROFFERS OF THE (PCO) PLANNED COMMERCIAL DISTRICT REZONE (SEE ABOVE).
2. DEVELOPER WILL ABIDE BY ALL VDOT REGULATIONS IN REGARDS TO DEVELOPING AND CONSTRUCTING ROADS WITHIN THE DEVELOPMENT. APPLICANT WILL APPLY FOR A CONSTRUCTION ENTRANCE PERMIT WITH VDOT.

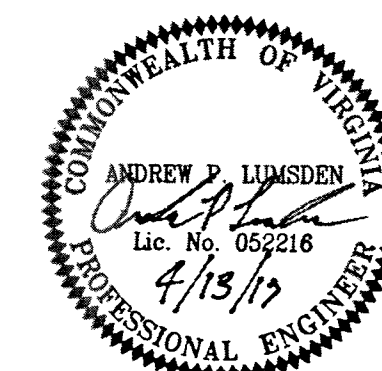
IN ADDITION TO ALL OTHER PROFFERS PREVIOUSLY APPROVED, DEVELOPMENT OF THE PROPERTY SHALL CONFORM TO THE CONCEPTUAL PLAN FOR WESTLAKE TOWNE CENTER PREPARED BY LUMSDEN ASSOCIATES, P.C. DATED MARCH 3, 2016 (SHEETS 1 THRU 3), INCLUDING ALL NOTES CONTAINED ON SHEET 3 PERTAINING TO PERMITTED USES WITHIN EACH DEVELOPMENT TRACT AREA AND ALL NOTES REQUESTING APPROVAL OF DEVIATIONS TO DEVELOPMENT STANDARDS.



LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM



PROJECT INFORMATION
TAX MAP No. 0300005213
LEGAL REFERENCE: D.B. 1089, PG. 1020 (INSTR. #17001124)
OWNER/DEVELOPER: RUNK & PRATT OF SML, LLC
20212 LEESVILLE ROAD
LYNCHBURG, VA 24502
(434) 610-0591 (ATTN: BRIAN RUNK)

FRANKLIN COUNTY CASE # 15560

EXISTING DEQ STORMWATER GENERAL PERMIT # VAR100498

WESTERN VIRGINIA WATER AUTHORITY
AVAILABILITY LETTER NUMBER: 16-036

RESPONSIBLE LAND DISTURBER
Printed Name: _____ RLD # _____ Expires: _____
Signature: _____ Date: _____

REVISIONS	
DATE	SHEETS
4/13/17	1, 2 & 4 THRU 7 & 10
COMMISSION NO:	16-121
SHEET 1 OF 10	

As-Built 10.18.17 K. Winslow

RECEIVED APR 14 2017