

LOCATION MAP

#### CONSTRUCTION NOTES

1. An Erosion and Sediment Control Plan has been approved and is hereby made part of these plans. The contractor is responsible for obtaining and adhering to the provisions therein, which shall include inspection and repairs, if necessary, periodically and after every erodible rainfall.
2. An approved Erosion and Sediment Control Plan may be amended by the plan approving authority if on-site inspection indicates that the approved control measures are not effective in controlling erosion and sedimentation, or if, because of changed circumstances, the approved plan cannot be carried out.
3. All erosion and sediment control practices shall be in accordance with the Virginia Erosion and Sediment Control Handbook, Third Edition, 1992, (VESH).

#### GENERAL NOTES:

1. All construction methods and materials must be in accordance with current VDOT Road and Bridge specifications.
2. Excess excavation to be disposed of as directed by the Engineer.
3. Contractor shall obtain entrance permit to tie to existing VDOT rights-of-way from Resident Engineer prior to construction.
4. A temporary gravel construction entrance will be required at the intersection of the proposed development entrance and public streets and highways.
5. Contractor shall verify location and elevation of all underground utilities in areas of construction prior to starting work. Contact engineer immediately if location or elevation is different from that shown on plans. If there appears to be a conflict and upon discovery of any utility not shown on this plan, call MISS UTILITY of Central Virginia @ 1-800-52-7001.

#### MINIMUM STANDARDS FOR CONTROLLING EROSION AND SEDIMENT

- MS-1 Stabilization of Denuded Areas**  
Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- MS-2 Stabilization of Soil Stockpiles**  
During construction of the project, soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as borrow areas and soil intentionally transported from the project site.
- MS-3 Permanent Vegetation**  
A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is, uniform, mature enough to survive and will inhibit erosion.
- MS-4 Timing and Stabilization of Sediment Trapping Measures**  
Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-disturbing activity and shall be made functional before upslope land disturbance takes place.
- MS-5 Stabilization of Earthen Structures**  
Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
- MS-6 Sediment Basins**  
Sediment traps and sediment basins shall be designed and constructed based upon the total drainage area to be served by the trap or basin.  
A. The minimum storage capacity of a sediment trap shall be 134 cubic yards per acre of drainage area and the trap shall only control drainage areas less than three acres.  
B. Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The minimum storage capacity of a sediment basin shall be 134 cubic yards per acre of drainage area. The outfall system shall, at a minimum, maintain the structural integrity of the basin during a twenty-five year storm of 24-hour duration. Runoff coefficients used in runoff calculations shall correspond to a bare earth condition or those conditions expected to exist while the sediment basin is utilized.
- MS-7 Cut and Fill Slopes**  
Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
- MS-8 Concentrated Runoff Flow Down Cut or Fill Slopes**  
Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.

**MS-9 Water Seeps From a Slope Face**  
Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.

**MS-10 Storm Sewer Inlet Protection**  
All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.

**MS-11 Stabilization of Outlets**  
Before newly constructed stormwater conveyance channels or pipes are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.

**MS-12 Work in Live Watercourses**  
When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodible cover materials.

**MS-13 Crossing a Live Watercourse**  
When a live watercourse must be crossed by construction vehicles more than twice in any six-month period, a temporary vehicular storm crossing constructed of nonerodible material shall be provided.

**MS-14 Applicable Regulations**  
All applicable federal, state and local regulations pertaining to working in or crossing live watercourses shall be met.

**MS-15 Stabilization of Bed and Banks**  
The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.

**MS-16 Underground Utility Construction**  
Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:  
A. No more than 500 linear feet of trench may be opened at one time.  
B. Excavated material shall be placed on the uphill side of trenches.  
C. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.  
D. Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.  
E. Restoration shall be accomplished in accordance with these regulations.  
F. Applicable safety regulations shall be complied with.

**MS-17 Construction Access Routes**  
Where construction vehicle access routes intersect paved or public roads, provisions shall be made to minimize the transport of sediment by vehicular tracking onto the paved surface. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual development lots as well as to larger land-disturbing activities.

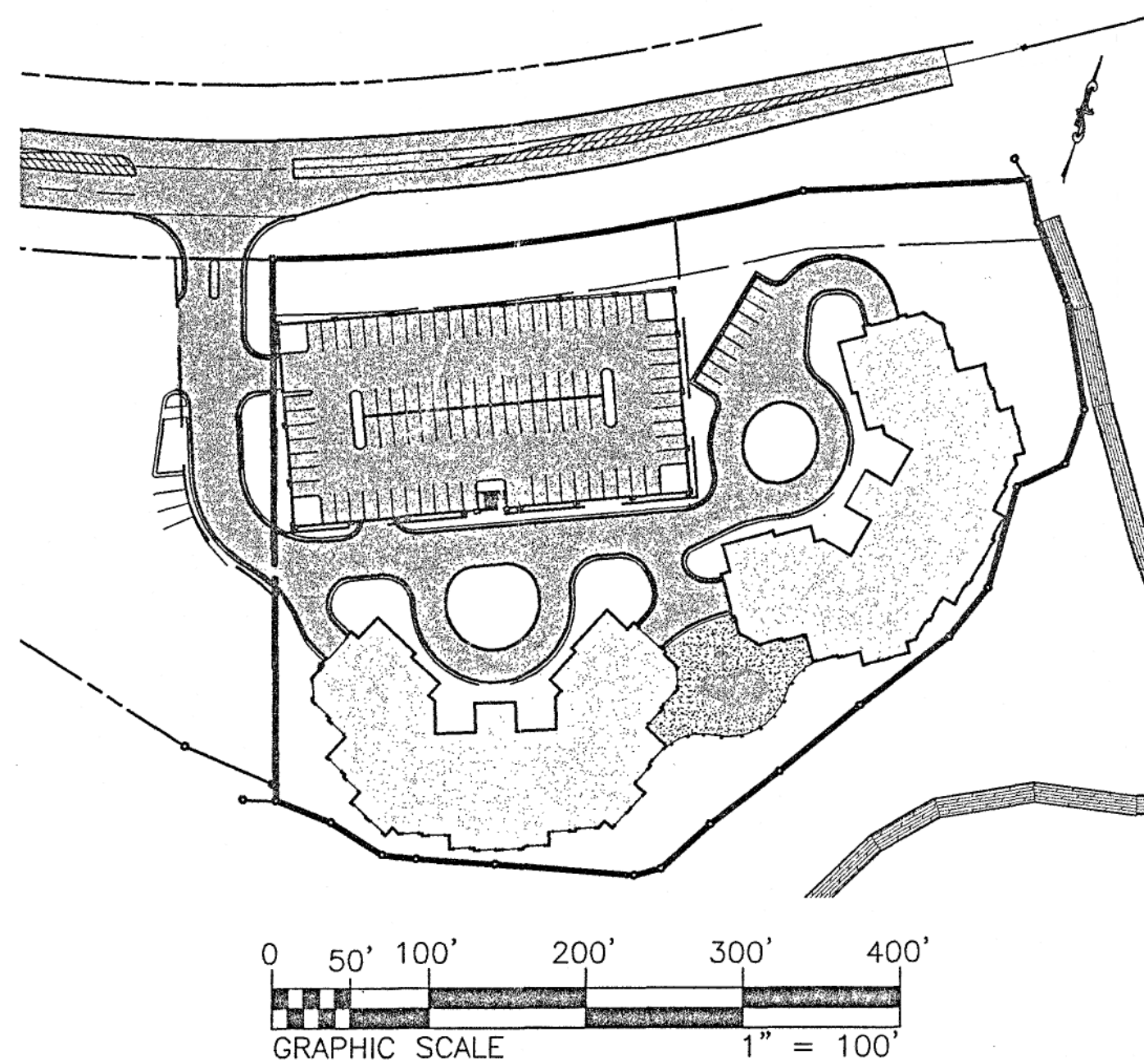
**MS-18 Temporary Erosion & Sediment Control Measure Removal**  
All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the local program authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.

**MS-19 Protection of Downstream Properties and Waterways**  
Properties and waterways downstream from development sites shall be protected from sediment deposition, erosion and damage due to increases in volume, velocity and peak flow rate of stormwater runoff for the stated frequency storm of 24-hour duration. Contractor shall be responsible for obtaining a copy of the approved Erosion and Sediment Control Plan and adhere to same. The Virginia Erosion and Sediment Control Handbook shall be used in addition to the approved narrative and plan.

**DEVELOPER:**  
**BRIDGEWATER POINTE PARTNERS, L.L.C.**  
P.O. BOX 41  
UNION HALL, VA 24076  
(336) 282-9970

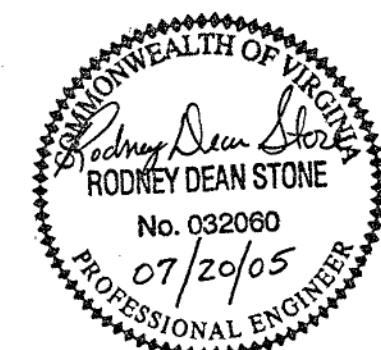
**ARCHITECT:**  
**CALLOWAY JOHNSON MOORE & WEST**  
199 BROOKSTOWN AVENUE, SUITE 100  
WINSTON-SALEM, NC 27101  
(336) 724-1503

**SURVEYOR:**  
**CORNERSTONE LAND SURVEYING, INC.**  
P.O. BOX 779  
250 SOUTH MAIN STREET  
ROCKY MOUNT, VA 24151  
(540) 489-3590



#### SHEET INDEX

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- SHEET 8 - DETAIL SHEET
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- SHEET 10 - EROSION & SEDIMENT CONTROL DETAILS



**ENGINEER:**  
**STONE ENGINEERING, INC.**  
250 SOUTH MAIN STREET  
ROCKY MOUNT, VIRGINIA 24151  
(540) 483-0078

#### LEGEND

- ROAD CENTERLINE
- EDGE OF PAVEMENT
- DITCHLINE
- PROPERTY LINE
- DEED LINE
- EASEMENT
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- CULVERT PIPE
- P.U.E.
- SILT FENCE
- TO BE REMOVED
- DRAINAGE EASEMENT
- SLOTTED DRAIN
- STRUCTURE NUMBER
- FLOW ARROW
- SANITARY SEWER
- M.B.L.
- WATER LINE

Special Use Permit Conditions for ±6.835 acre parcel Recorded as Tax Map #15-57 and a portion of #15-57.7 in the Franklin County Tax Records:

1. The site plan approval shall include VDOT approval of the entrances. As a part of the site plan approval process, the applicant will submit commercial entrance designs, traffic counts, and other information required by VDOT. Prior to the occupancy permit for the first residential building the applicant will complete construction of all improvements to route 122 required by VDOT as a part of entrance approval, including, as required, right and left turn lanes, acceleration and deceleration lanes.
2. Prior to the start of construction, the applicant will obtain any and all required permits from the U.S. Army Corps of Engineers.
3. Prior to the start of construction, the applicant will obtain any and all necessary permits needed to construct in the 100-year flood plain and to comply with the National Flood Insurance Program.
4. Any lighting of the property will be directed to the interior of the property.
5. The following uses appurtenant to the multifamily development will be screened from Route 122: loading areas, refuse areas, service areas, storage areas, mechanical equipment, and above ground utilities.
6. As a part of the site plan approval process, the petitioner will present a pedestrian access plan that links the new residential development with the existing retail, office, restaurant, and marina uses.
7. As a part of the site plan approval, the applicant will provide a plan for the disposal of commercial solid waste and will identify the location and screening of dumpster sites.

Proffers for ±6.835 acre parcel Recorded as Tax Map #15-57 and a portion of #15-57.7 in the Franklin County Tax Records:

1. Development will be in substantial accord with the concept plan submitted by the applicants as a part of this application and dated January 15, 2000.
2. Prior to start of construction, the applicant will vacate the property lines between the two parcels: PROFFER REMOVED
3. As part of the site plan approval process, the petitioner will provide a landscaping plan for Route 122 frontage for the entire 6.835 acre project.
4. Prior to the start of construction, the applicant shall receive approval of a site plan for all areas of new construction in accord with site plan procedures prescribed in the Zoning Ordinance.
5. The site plan approval process shall include VDH approval of the wells and water system.
6. Permitted uses of this property will be limited to those specifically stated in the concept plan and letter of application, including short term rental uses. Any other use will be the subject application for an amendment of the Concept Plan for the project.

Special Use Permit Conditions for ±40 acre parcel recorded as portion of #15-59, in the Franklin County tax Records:

1. The applicant shall meet all the applicable requirements of the Virginia Department of Health and all of the requirements pertaining to off-site drainfields in Section 25-144 of the Franklin county Zoning Ordinance including those set forth below.
2. Prior to the start of construction, the applicant shall receive approval from the Virginia Department of Health for a primary drainfield area and a reserve drainfield area capable of providing 100% capacity of the required primary area.
3. The applicant shall connect to a public utility providing sewage treatment should it become available.
4. The special use permit is limited to the size and capacity required to the Planned Commercial Development at Hales Ford that is described in this application. That is, the mass drainfields shall be connected to and support only the 96 multifamily units and the retail, restaurant, and office uses (43,100 square feet total) shown on the parcel of land shall be the subject of a separate special use permit application.
5. Any replacement system shall likewise support only the uses set forth in the condition #4 above. The connection of any other use shall be the subject of a separate special use permit application.
6. Prior to construction, the area of the primary and reserve drainfield areas shall be established by an easement in perpetuity in accord with the Sewage Handling Regulations of the Virginia Department of Health, recorded among the land records of Franklin County and permanently monument in the field.
7. Prior to construction, an easement shall be established to provide access to the sewage conveyance lines from the Planned Commercial Development at Hales Ford in accord with the requirements of Section 25-244(g) of the Zoning Ordinance.
8. During the planning and construction of the facility, the applicant shall comply with the applicable requirements for sanitary sewer facilities as set forth in Chapter 22 of the Franklin county Code.
9. As a part of the site plan review of the project, the applicant will coordinate with the county's consulting engineers to minimize the possibility that the placement of the force lines in the VDOT right of way will not interfere with a future placement of utility lines in the right of way by the County or a public service authority.

#### GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ES-1: Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and Virginia Regulations VR 625-02-00 Erosion and Sediment Control Regulations.
- ES-2: The plan approving authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week prior to the final inspection.
- ES-3: All erosion and sediment control measures are to be placed prior to or as the first step in clearing.
- ES-4: A copy of the approved erosion and sediment control plan shall be maintain on the site at all times.
- ES-5: Prior to commencing land disturbing activities in areas other than indicated on these plans (including, but not limited to, offset borrow or waste areas), the contractor shall submit a supplementary erosion control plan to the owner for review and approval by the plan approving authority.
- ES-6: The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the plan approving authority.
- ES-7: All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until final stabilization is achieved.
- ES-8: During dewatering operations, water will be pumped into an approved filtering device.
- ES-9: The contractor shall inspect all erosion control measures periodically and after each runoff rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately.

#### SITE SUMMARY:

PARCEL TAX #: 15-00-057  
TOTAL ACREAGE: 3.988±  
CURRENT USE: UNDEVELOPED  
PROPOSED USE: RESIDENTIAL  
TOTAL BUILDING FLOOR AREA: 42,000 S.F.  
TOTAL ROAD FRONTAGE: 485.00'  
MAXIMUM BUILDING HEIGHT: 70'  
TOTAL DEVELOPED AREA: 2.41 ACRES OR 60.0% OF TOTAL AREA  
OPEN SPACE: 1.62 ACRES  
TOTAL LAND DISTURBANCE: 4.55 ACRES

PROJECT NO. 04117

SHEET 1 OF 10