

SITE STATISTICS:

Tax Number: 0280013500
Parcel Area: 15.008 Acres
Total Disturbed Area: 9.92 Acres (432,115 sf)
Zone: A1
Proposed Use: Church
Maximum Building Height: 40'
Building Setbacks:
Front: 60' from centerline of right-of-way or 35' from edge of right-of-way; whichever is greater
Side: 10% of the road frontage distance, with a min. of 10' & a max. of 12'
Rear: 30'
Maximum Floor Area: not regulated

Parking
Required: 1 space for each four seats in the main auditorium or sanctuary
±500 seats planned
500/4=125 spaces required
Provided: 231 spaces; including 8 handicap spaces

Lighting
Lighting is planned for this project and is shown on the plans.

Water
New connection to existing 12" main in Burnt Chimney Road is planned.

The FDC access shall be shown on the building plans.

Sewer
A Private Drainfield is planned for this project.

PROFFERS:

OWNER'S STATEMENT:

LOCAL APPROVALS:

SITE DEVELOPMENT PLANS
FOR
FRANKLIN HEIGHTS BAPTIST CHURCH

CROSSPOINTE CHURCH

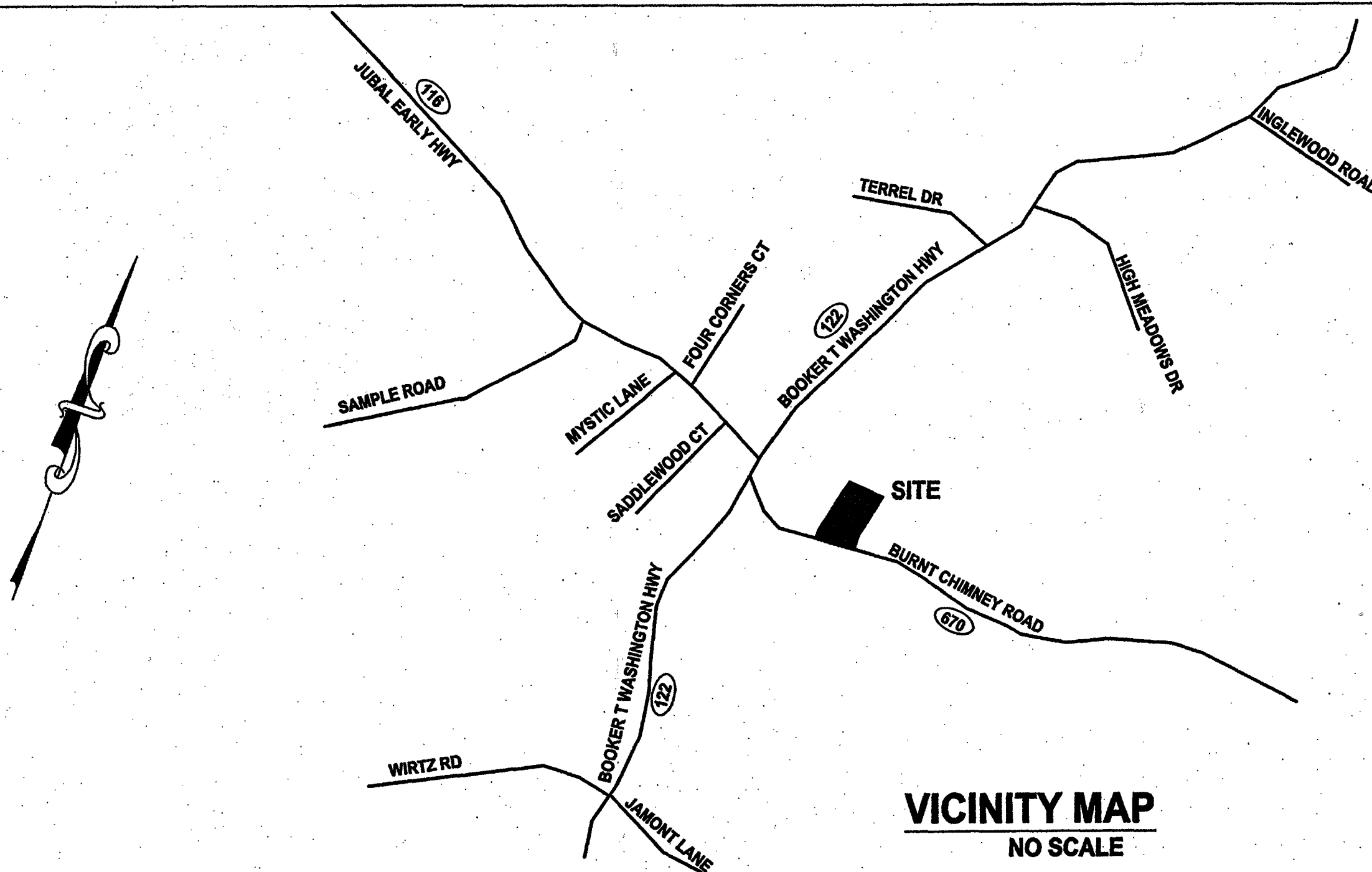
FRANKLIN COUNTY, VA

JUNE 23, 2014

LATEST REVISION OCTOBER 15, 2014

FC CASE #13111

255 Burnt Chimney



VICINITY MAP
NO SCALE

CONTACT INFORMATION:

Engineer/Surveyor: Parker Design Group
816 Boulevard
Salem, VA 24153
ph. 540.387.1153
fax 540.389.5767
email: srutrough@parkerdg.com

Owner/Developer: Franklin Heights Baptist Church
Attn: Melvin Hunt, Head Deacon
110 Hilltop Drive
Rocky Mount, VA 24151
ph. 540.483.9507
email: huntme98@gmail.com

SHEET INDEX:

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| C01 | COVER SHEET |
| C02 | EXISTING CONDITIONS, DEMOLITION & PHASE I ESC PLAN |
| C03 | SITE DIMENSIONAL PLAN |
| C04 | SITE UTILITY PLAN |
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| L01 | LANDSCAPE PLAN |
| E01 | LIGHTING PLAN |

LEGEND:

	CONCRETE		TYPICAL YARD HYDRANT		EX. POWER POLE
	ASPHALT PAVING		PROP. FIRE HYDRANT		EX. TELEPHONE
	PAVEMENT REPLACEMENT		PROP. AIR RELEASE VALVE		EX. TELEPHONE PEDestal
	GRAVEL		PROP. GATE VALVE		EX. LIGHT POLE
	PAVERS		PROP. BLOW OFF VALVE		BENCHMARK
	WETLAND AREA				
	SURVEYED PROPERTY LINE		PROP. TELEPHONE LINE		
	PROPOSED PROPERTY LINE		PROP. GAS LINE		
	DEED PROPERTY LINE		PROP. SANITARY SEWER LINE		
	OHE OVERHEAD POWER		PROP. STORM SEWER LINE		
	EXIST. WATER LINE		PROP. CONTOURS		
	EXIST. OVERHEAD CABLE		EXIST. 2' CONTOURS		
	EXIST. CENTERLINE OF ROAD		EXIST. 10' CONTOURS		
	EXIST. STORM SEWER		PROP. SPOT ELEVATION		
	EXIST. SANITARY SEWER		SILT FENCE		
	PROP. UNDERGROUND ELEC. LINE		PROP. TREE LINE		
	PROP. UNDERGROUND ELEC. SERVICE		RESOURCE MANAGEMENT AREA BOUNDARY		
	PROP. WATER LINE		RESOURCE PROTECTION AREA BOUNDARY		
	PROP. AUDIO CABLE		DITCH LINE		
	EXIST. TREE LINE				
	EXIST. EDGE OF PAVEMENT				

GENERAL NOTES:

1. The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ±2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
2. It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
3. The contractor shall be responsible for obtaining all necessary permits before beginning construction.
4. All construction will be in accordance with Franklin County standards and specifications.
5. Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
6. Contractor shall coordinate installation of permanent electrical service, telephone service, gas and cable TV. These utility lines shall be underground.
7. Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
8. Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
9. Distances and radii referred to are to the edge of pavement, unless otherwise noted.
10. Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
11. All utilities shall be underground installation.
12. Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing mapping.
13. An approved set of plans and all permits must be available at the construction site.
14. Field construction shall honor proposed drainage divides as shown on plans.
15. All unsuitable material shall be removed from the construction limits before placing embankment.
16. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
17. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
18. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
19. 100 year floodway and floodplain information shall be shown where applicable.

REVISIONS:	
Per County & VDOT Comments	18 September 2014
Per County & VDOT Comments	15 October 2014

DESIGNED BY:	SLR
DRAWN BY:	SLR
CHECKED BY:	SLR
SCALE:	1"=40'
DATE:	23 June 2014

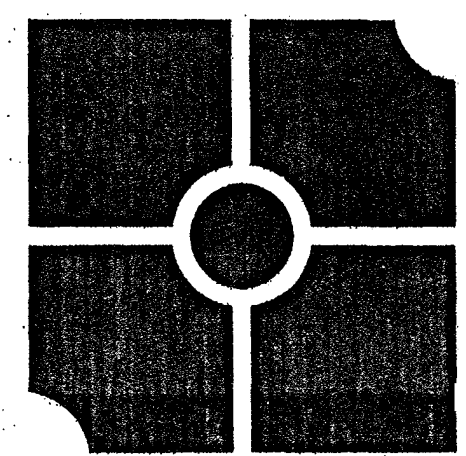
SHEET TITLE:

Cover Sheet

APPROVED
Franklin County
Planning & Zoning
by: [Signature]
date: 6/22/15

As-Built 6.22.15 Substantial Completion K. Winslow

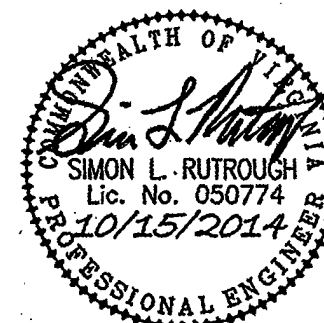
C01
01 OF 13
PROJECT NUMBER
14-0053-03



parker
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CrossPointe Church
Prepared for FHBC
Tax #0280013500
Franklin County, VA

Cross Pointe Church
Approved 2/20/15