

Issued 02/15/2019

- ① 64 LF. - 15" STORM SEWER PIPE
INV. IN = 1108.8
INV. OUT = 1104.0
SLOPE = 7.5%
1 - VDOT ES-2 AT OUTLET
- ② 83 LF. - 15" STORM SEWER PIPE
INV. IN = 1111.3
INV. OUT = 1109.0
SLOPE = 2.8%
- ③ 22 LF. - 15" STORM SEWER PIPE
INV. IN = 1115.8
INV. OUT = 1111.5
SLOPE = 19.5%
1 - VDOT ES-2 AT INLET
- ④ DROP INLET VDOT DI-1 WITH BACK-UP BERM
TOP = 1115.0
INV. = 1108.8
- ⑤ DROP INLET VDOT DI-1 WITH BACK-UP BERM
TOP = 1115.5
INV. = 1111.3
- ⑥ VDOT ES-2 FLARED END SECTION
INV. = 1115.8

- NOTES:
1. PROPOSED LIMITS OF LAND DISTURBANCE = 43,532 SQ. FT.
 2. ZONING DISTRICT: REGIONAL ENTERPRISE PARK
 3. TAX PARCEL # 0370005300 & 037019700
 4. ADDRESS: 2279 BRICK CHURCH ROAD, ROCKY MOUNT, VA 24151
 5. FEMA MAP NO. 51067C0185C SHOWS THAT PROPERTY DOES NOT LIE IN A FLOODPLAIN.
 6. THE PARCEL IS CURRENTLY WOODED AND UNDEVELOPED.
 7. FOR EROSION & SEDIMENT CONTROL NOTES SEE DRAWING C2.01.
 8. FOR STORM SEWER PIPE PROFILES, SEE DRAWING C3.03.
 9. FOR SANITARY SEWER PROFILES, SEE DRAWING C3.03.
 10. FOR ACCESS ROAD PROFILE AND TYPICAL SECTION, SEE DRAWING C3.03.
 11. FOR WATER SERVICE PLAN AND PROFILE, SEE DRAWING C4.08.
 12. FOR SEWER FORCEMAIN PLAN, SEE DRAWING C4.09.
 13. FOR SEWER FORCEMAIN PROFILE, SEE DRAWING C4.10.
 14. FOR LIFT STATION #1 SITE LAYOUT, SEE DRAWING M1.01.
 15. GUARDRAIL TL-2 TANGENT END SECTION SHALL BE EQUAL TO MSKT-SP-MGS TERMINAL TEST LEVEL 2 BY ROAD SYSTEMS, INC.
 16. ALL PIPE MATERIALS SHALL BE AS SPECIFIED ON THE PIPE SCHEDULE SHOWN ON DRAWING C4.02.
 17. FOR GUARDRAIL DETAILS SEE DRAWING C3.06.

PROPOSED COORDINATE TABLE

POINT	NORTHING	EASTING
1	3553285.05	11068253.52
2	3553334.91	11068309.55
3	3553278.88	11068359.41
4	3553229.02	11068303.38

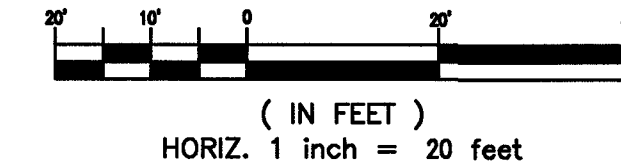
EROSION & SEDIMENT CONTROL LEGEND
(REF. VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK, LATEST EDITION)

- SF STD. & SPEC. 3.05 SILT FENCE
- CIP STD. & SPEC. 3.08 CULVERT INLET PROTECTION
- OP STD. & SPEC. 3.18 OUTLET PROTECTION
- TO STD. & SPEC. 3.30 TOPSOILING
- TS STD. & SPEC. 3.31 TEMPORARY SEEDING
- PS STD. & SPEC. 3.32 PERMANENT SEEDING
- MU STD. & SPEC. 3.35 MULCHING
- B/M STD. & SPEC. 3.36 SOIL STABILIZATION BLANKET

PROPOSED LEGEND

- 2" SM-2A ASPHALT WITH 6" 21A COMPACTED STONE BASE
- 6" 21A COMPACTED STONE BASE
- 6' CHAIN LINK FENCE WITH 3 STRANDS BARBED WIRE. SEE DETAIL G-5 ON DRAWING C4.02.

GRAPHIC SCALE



As-Built

REV	DATE	DESCRIPTION

DRAWING SHEET
C3.01 11

LIFT STATION #1
SITE PLAN (SHEET 1 OF 2)

SUMMIT VIEW BUSINESS PARK UTILITY IMPROVEMENTS
PHASE 1

DES: PJM SCALE: AS SHOWN
DRAWN: JES HORIZ: 1" = 20'
CHECK: GWF VERT: N/A
DATE: 05/24/18

WESTERN VIRGINIA WATER AUTHORITY
601 South Jefferson Street, Suite 300
Roanoke, Virginia 24011

WRA
Whitman, Requardt & Associates, LLP
1700 Kraft Dr., Suite 1200, Blacksburg, VA 24060



POWER RIGHT OF WAY
BOOK 75, PAGE 1486

RIPRAP APRON
WIDTH = 4'
LENGTH = 10'

Tax #0370005300
Property of
County of Franklin
Deed Book 1079, Page 1225
Deed Book 1079, Page 1230 (PLAT)

PROPOSED PARCEL
TO BE CONVEYED
TO WESTERN VIRGINIA WATER AUTHORITY
APPROXIMATELY 2.18 ACRES

N/F
Tax #0370005300
Property of
County of Franklin
Deed Book 1079, Page 1225
Deed Book 1079, Page 1230 (PLAT)
ZONING: REP

Site Constructed
As Shown