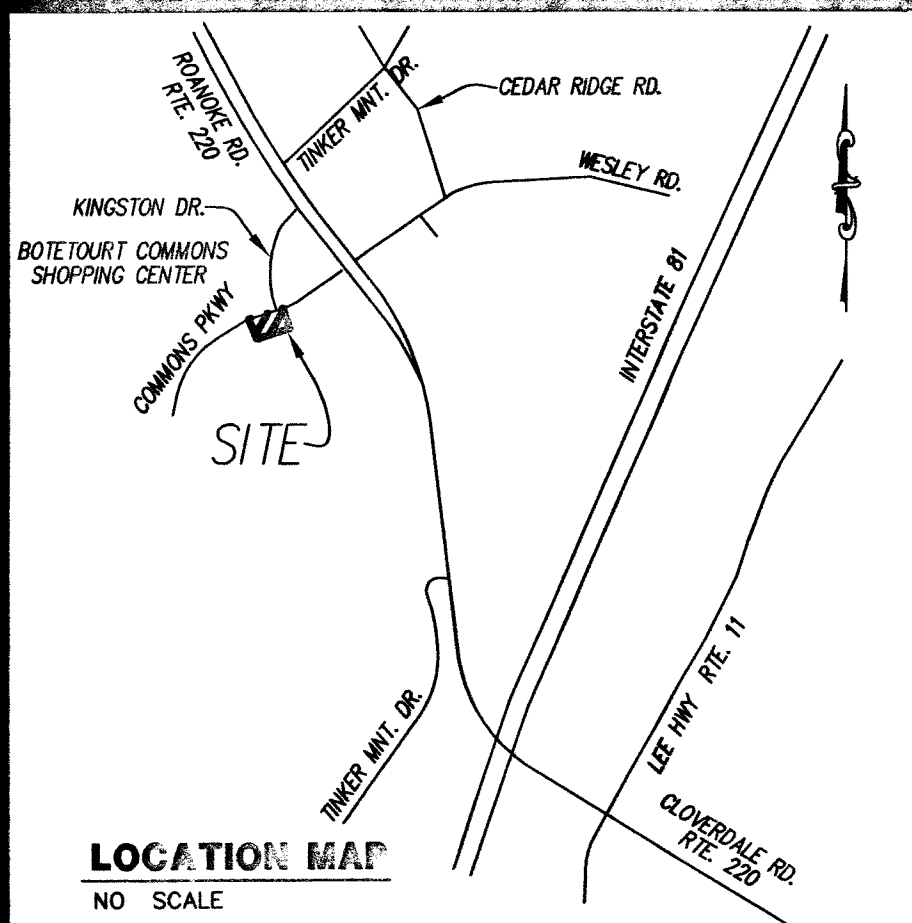


09044as-buil01-01-ex01.plt



CURVE TABLE						
CORNER	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
1-2	C1	775.00'	134.40'	67.37'	134.23'	N 53°45'03" E
3-4	C2	972.00'	132.18'	66.19'	132.08'	N 62°36'53" E
5-6	C3	381.00'	98.81'	49.68'	98.53'	N 77°19'42" E
6-7	C4	435.00'	110.84'	55.72'	110.54'	N 77°27'29" E

SYMBOLS	
	PROPERTY CORNER
	STORM DRAIN DESIGNATION
	SANITARY SEWER DESIGNATION
	SAN. SEWER CLEANOUT DESIGNATION
	WATER STRUCTURE DESIGNATION
	WATER METER
	WATER VALVE
	BLOWOFF VALVE
	YARD INLET
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	DRAINAGE MANHOLE
	DROP INLET
	CURB INLET

LEGEND	
N	NORTHING
E	EASTING
EX.	EXISTING
R/W	RIGHT-OF-WAY
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
AC.	ACRE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SS	SANITARY SEWER
RCP	REINFORCED CONCRETE PIPE
ARV	AIR RELEASE VALVE

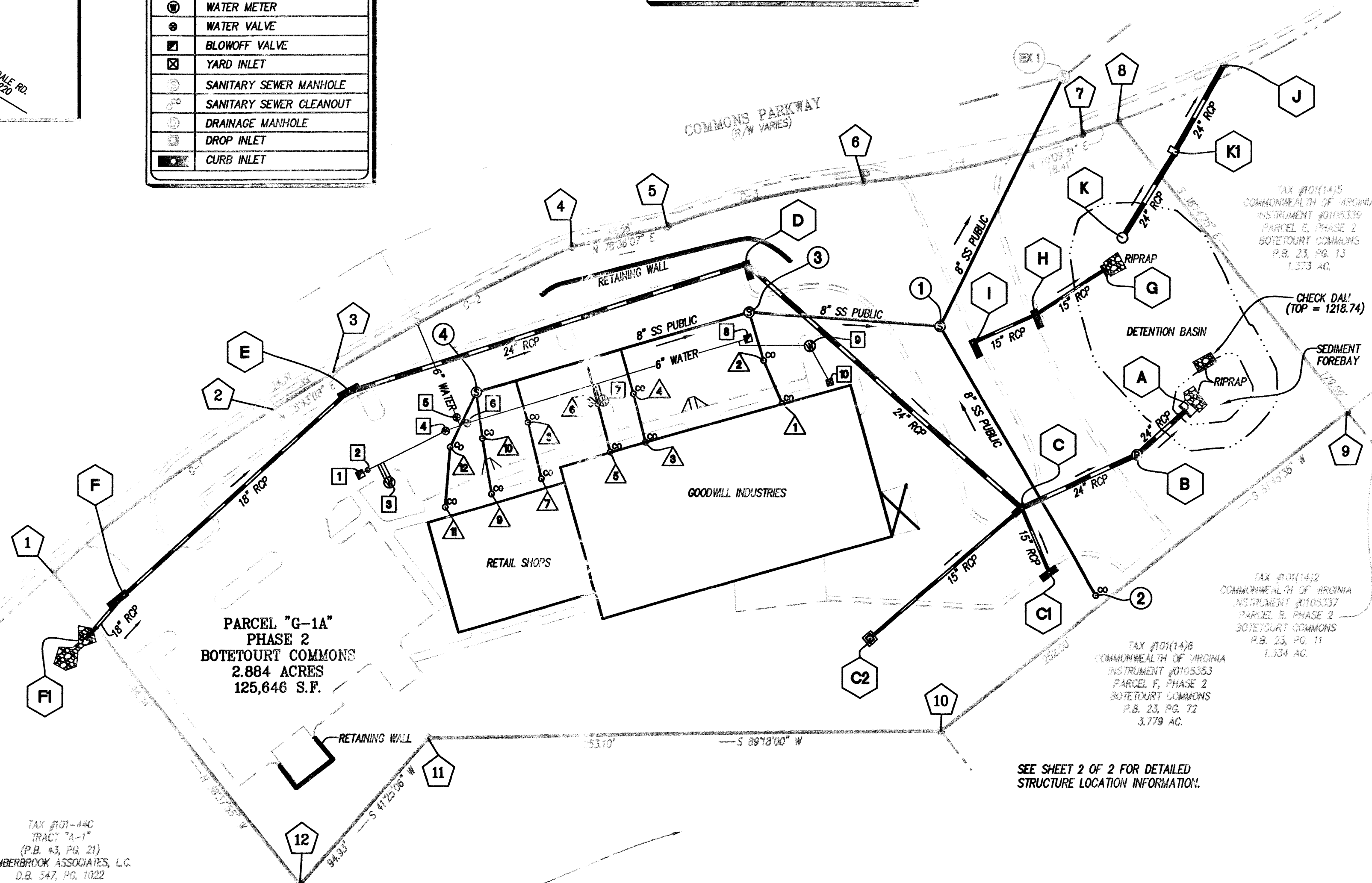
FOR CLARITY, EASEMENTS HAVE NOT BEEN SHOWN ON THIS AS-BUILT PLAN. SEE ATTACHED SUBDIVISION AND EASEMENT PLATS FOR ALL PUBLIC AND PRIVATE EASEMENTS THAT ENCUMBER THIS PROPERTY.

NOTES:

1. THE INFORMATION SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY.
2. COORDINATE LOCATIONS ON SANITARY SEWER MANHOLES, SANITARY SEWER LATERALS, WATER VALVES, WATER METERS AND STORM DRAIN STRUCTURES ARE TO THE CENTER OF ACCESS MANHOLES.

BOUNDARY COORDINATES		
ORIGIN OF COORDINATES IS ASSUMED		
CORNER	NORTHING	EASTING
1	5987.86399	12441.33216
2	6067.23625	12549.58555
3	6085.15551	12579.07961
4	6145.90846	12696.35824
5	6155.50586	12743.96462
6	6177.11996	12840.09412
7	6201.12402	12947.99682
8	6207.37106	12965.30933
9	6066.30760	13076.47609
10	5910.32865	12878.54867
11	5907.23607	12625.46669
12	5836.04696	12562.66435
1	5987.86399	12441.33216

AREA = 2.884 AC. (125,646 S.F.)

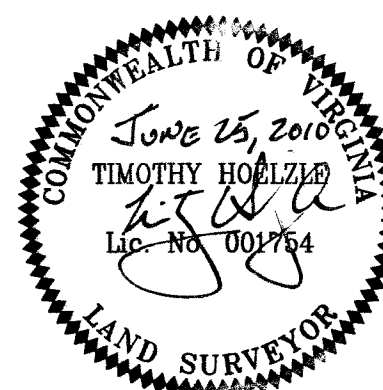


SEE SHEET 2 OF 2 FOR DETAILED STRUCTURE LOCATION INFORMATION.

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



AS-BUILT PLAN SHOWING
WATER, SANITARY SEWER AND STORM SEWER LOCATIONS
OVER PARCEL "G-1A"
BOTETOURT COMMONS
(PLAT BOOK 49, PG. 15 - 17)
PROPERTY OF
TIMBERBROOK ASSOCIATES, L.C.
SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

DATE: June 25, 2010
COMM. NO.: 09-044
SCALE: 1" = 40'

SHEET 1 OF 2

drawings\2009\09044\sur\09044as-buil01.dwg

STORM DRAIN STRUCTURES

* DENOTES INVERT AT CENTER OF STRUCTURE

- A**

24" EW-1 W/ ENERGY DISSIPATER
N 6066.8846
E 12998.8418
INV.=1215.99'

A TO B - 24" RCP
GRADE=19.01%
LENGTH=32.3'
- B**

SDMH
N 6045.0692
E 12974.9204
TOP=1231.86'
INV. IN=1222.22'
INV. OUT=1222.13'

B TO C - 24" RCP
GRADE=1.84%
LENGTH=62.0'
- C**

DI-3B - CURB INLET
N 6019.4578
E 12918.4016
THROAT=6'
TOP=1231.51'
INV.=1223.36*
INV.IN =1223.49' (FROM C1)

C TO D - 24" RCP
GRADE=1.40%
LENGTH=179.2'
- D**

DI-3B - CURB INLET
N 6136.7843
E 12782.9176
THROAT=8'
TOP=1232.72'
INV.=1225.87*

D TO E - 24" RCP
GRADE=1.18%
LENGTH=205.4'
- E**

DI-3C - CURB INLET
N 6075.7354
E 12586.7639
THROAT=10'
TOP=1233.23'
INV.=1228.29*

E TO F - 18" RCP
GRADE=1.86%
LENGTH=148.0'
- F**

DI-3B - CURB INLET
N 5977.0168
E 12476.5162
THROAT=10'
TOP=1238.59'
INV.=1231.04*

F TO F1 - 18" RCP
GRADE=12.32%
LENGTH=28.9'
- F1**

18" RCP STUBOUT W/ EC-1 RIP RAP
N 5955.2655
E 12457.5578
INV.=1234.60'
- C1**

DI-3C - CURB INLET
N 5987.3001
E 12931.6185
THROAT=8'
TOP=1233.32'
INV.=1228.43*

C1 TO C - 15" RCP
GRADE=14.20%
LENGTH=34.8'
- C2**

DI-7 - DROP INLET
N 5955.2183
E 12843.6867
GRADE=TYPE III
TOP=1233.76'
INV.=1228.62'

C2 TO C - 15" RCP
GRADE=5.34%
LENGTH=98.5'
- G**

15" EW-1
N 6135.1394
E 12959.2415
INV.=1215.91

G TO H - 15" RCP
GRADE=2.21%
LENGTH=40.7'
- H**

DI-3B
N 6113.4820
E 12924.7925
LENGTH=8'
TOP=1221.78'
INV.=1216.81*

H TO I - 15" RCP
GRADE=2.28%
LENGTH=33.4'
- I**

DI-3B
N 6099.2035
E 12894.6141
LENGTH=8'
TOP=1222.05'
INV.=1217.57
- J**

DI-3B
N 6234.4125
E 13016.7929
LENGTH=16'
TOP=1212.92'
INV.IN=1205.77'

J TO K1 - 24" RCP
GRADE=8.25%
LENGTH=48.1'
- K1**

DI-12 W/TYPE 1 GRATE
N 6192.3354
E 12993.5475
THROAT=4'
TOP=1219.40'
INV.IN=1209.91'
INV.OUT=1209.74'
- K**

SWM-1 W/ TRASH RACK
N 6150.5628
E 12967.8220
TOP=1221.00'
4" ORIFICE=1218.30'
13.5" ORIFICE=1219.21'
INV.OUT=1215.65'

SANITARY SEWER

STRUCTURES LATERAL CLEANOUTS

- 1**

SSMH
N 6107.4404
E 12878.2502
TOP=1224.71'
INV. IN=1217.17' (2)
INV. IN=1217.09' (3)
INV. OUT=1216.94'

1 TO 2 - 8" PVC
GRADE=4.10%
LENGTH=148.7'
- 2**

MAIN LINE CLEANOUT
N 5976.5489
E 12954.9663
TOP=1235.61'
INV.=1223.27'

1 TO 3 - 8" PVC
GRADE=9.72%
LENGTH=90.4'
- 3**

SSMH
N 6113.7841
E 12784.0980
TOP=1233.28'
INV. IN=1225.90' (6")
INV. IN=1226.13' (8")
INV. OUT=1225.88'

3 TO 4 - 8" PVC
GRADE=1.10%
LENGTH=136.0'
- 4**

SSMH
N 6075.3558
E 12649.4373
TOP=1234.65'
INV. IN=1227.86' (6")
INV. OUT=1227.62'
- 1**

SSCO
N 6069.3395
E 12800.4554
TOP=1235.88'
- 2**

SSCO
N 6090.3841
E 12791.3480
TOP=1234.50'
- 3**

SSCO
N 6050.2848
E 12733.4769
TOP=1235.71'
- 4**

SSCO
N 6074.1063
E 12727.4244
TOP=1234.60'
- 5**

SSCO
N 6045.5315
E 12715.8968
TOP=1236.14'
- 6**

SSCO
N 6069.3262
E 12709.5863
TOP=1235.05'
- 7**

SSCO
N 6032.8467
E 12681.4787
TOP=1236.36'
- 8**

SSCO
N 6060.4330
E 12674.8152
TOP=1235.08'
- 9**

SSCO
N 6025.6239
E 12656.8054
TOP=1236.35'
- 10**

SSCO
N 6052.8272
E 12652.2954
TOP=1235.18'
- 11**

SSCO
N 6019.4351
E 12634.0754
TOP=1236.26'
- 12**

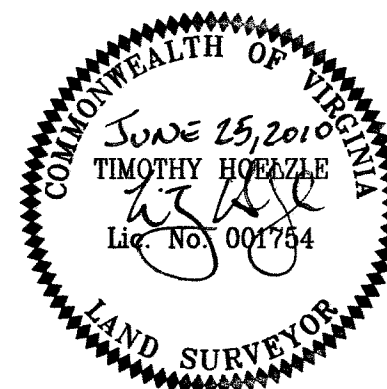
SSCO
N 6048.6540
E 12636.5589
TOP=1234.91'

LEGEND

N	NORTHING
E	EASTING
EX.	EXISTING
R/W	RIGHT-OF-WAY
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
AC.	ACRE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLANOUT
SS	SANITARY SEWER
RCP	REINFORCED CONCRETE PIPE
ARV	AIR RELEASE VALVE

NOTES:

1. THE INFORMATION SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY.
2. COORDINATE LOCATIONS ON SANITARY SEWER MANHOLES, SANITARY SEWER LATERALS, WATER VALVES, WATER METERS AND STORM DRAIN STRUCTURES ARE TO THE CENTER OF ACCESS MANHOLES.



WATER

VALVES, METERS & HYDRANTS

- 1**

END OF LINE BLOWOFF
N 6035.3583
E 12592.4047
TOP=1234.17'
- 2**

ARV
N 6037.3923
E 12596.0238
TOP=1234.23'
- 3**

(3) WATER METERS
N 6031.4455
E 12606.6591
TOP=1235.41'
- 4**

6" GATE VALVE
N 6056.4454
E 12634.4679
TOP= 1234.68'
- 5**

6" GATE VALVE
N 6063.0864
E 12639.7704
TOP=1234.60'
- 6**

6" GATE VALVE
N 6060.3247
E 12644.9734
TOP=1234.88'
- 7**

(2) WATER METERS
N 6070.8847
E 12712.2627
TOP=1235.32'
- 8**

END OF LINE BLOWOFF
N 6101.0823
E 12783.6229
TOP=1234.16'
- 9**

WATER METER
N 6097.5258
E 12814.1747
TOP= 1235.10'
- 10**

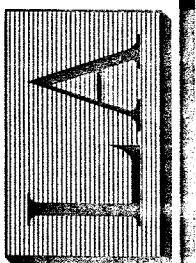
YARD HYDRANT
N 6079.9020
E 12823.9454
TOP=1235.33'

AS-BUILT PLAN SHOWING
WATER, SANITARY SEWER AND STORM SEWER LOCATIONS
OVER PARCEL "G-1A"
BOTETOURT COMMONS
(PLAT BOOK 49, PG. 15 - 17)
PROPERTY OF
TIMBERBROOK ASSOCIATES, L.C.
SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



DATE:	June 25, 2010
COMM. NO.:	09-044
SCALE:	NONE

KNOW ALL MEN BY THESE PRESENTS, TO WIT: THAT TIMBERBROOK ASSOCIATES, L.C. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON BOUNDED BY OUTSIDE CORNERS 1 THRU 12 TO 1 INCLUSIVE AND AS SHOWN AS A PORTION OF TRACT "A" AND ALL OF PARCEL "G-1" WHICH COMPRISES PART OF THE LAND CONVEYED TO SAID OWNER BY DEED FROM JAMES COULTER HANCOCK DATED JANUARY 6, 1998 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF BOTETOURT COUNTY, VIRGINIA IN DEED BOOK 547, PAGE 1022 AND SUBJECT TO A DEED OF CORRECTION DATED JANUARY 6, 1998 AND RECORDED IN THE AFORESAID CLERK'S OFFICE IN DEED BOOK 552, PAGE 1607. WHICH LAND IS SUBJECT TO A CERTAIN DEED OF TRUST TO DOUGLAS W. DENSMORE, TRUSTEE, SECURING FIRST-CITIZENS BANK & TRUST COMPANY, BENEFICIARY, RECORDED IN THE AFORESAID CLERK'S OFFICE IN DEED BOOK 547, PAGE 1024 AND MODIFIED IN INSTRUMENT #0302440.

TIMBERBROOK ASSOCIATES, L.C. DOES BY VIRTUE OF THE RECORDATION OF THIS PLAT DEDICATES IN FEE SIMPLE ALL OF THE EASEMENTS, NOT LABELED AS PRIVATE, WITHIN THE BOUNDARY AND OUTSIDE THE BOUNDARY AS SHOWN HEREON AND ARE HEREBY DEDICATED FOR PUBLIC USE.

IN WITNESS THEREOF IS HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS ON THIS 2ND DAY OF DECEMBER, 2009.

TIMBERBROOK ASSOCIATES, L.C.

BY:

STEVEN S. STRAUSS, MANAGER
TIMBERBROOK ASSOCIATES, L.C.

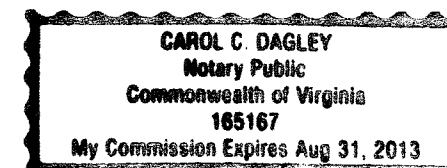
DOUGLAS W. DENSMORE, TRUSTEE

STATE OF Virginia

County of Roanoke, Carol C. Dagley, A NOTARY PUBLIC IN AND FOR THE AFORESAID County AND STATE DO HEREBY CERTIFY THAT STEVEN S. STRAUSS, MANAGER OF TIMBERBROOK ASSOCIATES, L.C., OWNER, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID County AND STATE AND ACKNOWLEDGED THE SAME ON Dec. 2, 2009.

MY COMMISSION EXPIRES Aug. 31, 2013 REG. # 165167

Carol C. Dagley
NOTARY PUBLIC

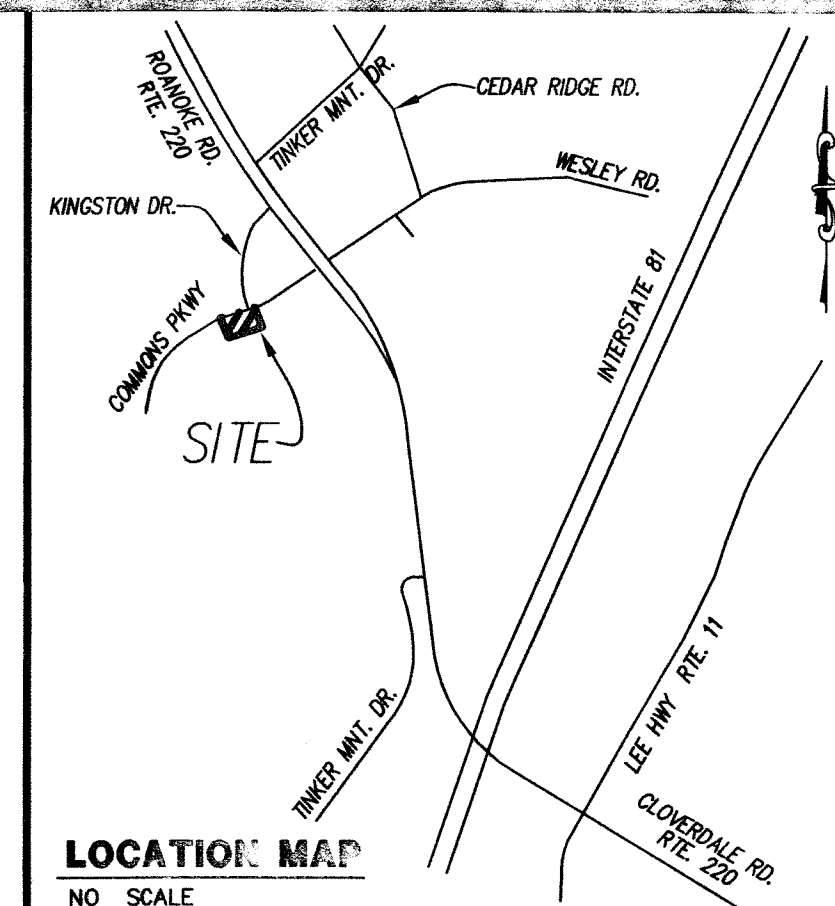


STATE OF Virginia

City of Roanoke, Jennifer Lee Ezell, A NOTARY PUBLIC IN AND FOR THE AFORESAID City AND STATE DO HEREBY CERTIFY THAT DOUGLAS W. DENSMORE, TRUSTEE, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID City AND STATE AND ACKNOWLEDGED THE SAME ON December 2, 2009.

MY COMMISSION EXPIRES 4/30/2012 REG. # 7176245

Jennifer Lee Ezell
NOTARY PUBLIC



PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

BOUNDARY COORDINATES		
ORIGIN OF COORDINATES IS ASSUMED		
CORNER	NORTHING	EASTING
1	5987.86399	12441.33216
2	6067.23625	12549.58555
3	6085.15551	12579.07961
4	6145.90840	12696.35824
5	6155.50586	12743.96462
6	6177.11996	12840.09492
7	6201.12402	12947.99682
8	6207.37106	12965.30933
9	6066.30760	13076.47609
10	5910.32865	12878.54867
11	5907.23607	12625.46669
12	5836.04696	12562.66435
1	5987.86399	12441.33216
AREA = 2.884 AC. (125,646 S.F.)		

IN THE CLERK'S OFFICE FOR THE CIRCUIT COURT OF BOTETOURT COUNTY, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED, IS ADMITTED TO RECORD AT 2:43 O'CLOCK P.M. ON THIS 8th DAY OF December, 2009.

ATTEST: TOMMY L. MOORE, CLERK

APPROVED:

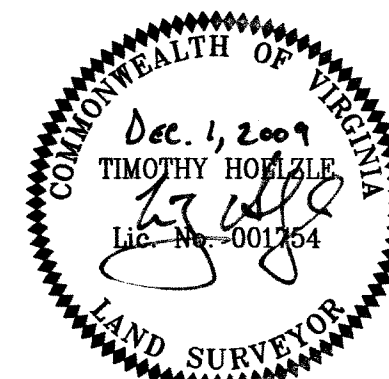
Cathy R. ...
BOTETOURT COUNTY, SUBDIVISION AGENT

DEPUTY CLERK

12/8/09
DATE

NOTES:

1. THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS, SEE COMMUNITY PANEL #510018 0150 A, DATED JUNE 15, 1978. ZONE "C".
2. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THIS PROPERTY THAT ARE NOT SHOWN HEREON.
3. IRON PINS WERE SET AT ALL CORNERS, UNLESS OTHERWISE NOTED.
4. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
5. THIS PLAT IS A SUBDIVISION OF ORIGINAL PARCEL "G-1" (1.680 AC.) P.B. 25, PG. 43 AND A 1.204 AC. PART OF ORIGINAL REMAINING PORTION OF TRACT "A" 38.634 AC PER P.B. 25, PG. 43 LEAVING 38.609 AC.
6. NEW DIVISION LINES FROM CORNERS 10 TO 11 TO 12 TO 1.
7. TRACT "A" & PARCEL "G-1" ARE ZONED SC (SHOPPING CENTER DISTRICT).
8. ORIGINAL PARCEL G (1.674 AC.), P.B. 24, PG. 73 WAS COMBINED WITH A (0.008 AC.) PORTION OF THE TEMPORARY CUL-DE-SAC OF COMMONS PARKWAY AND DEDICATED AN ADDITIONAL (0.002 AC.) PORTION OF PARCEL G TO CREATE PARCEL G-1 (1.680 AC.) IN P.B. 25, PG. 43.
9. ALL EASEMENT SHOWN HEREON ARE NEW UNLESS DESIGNATED EX. (EXISTING).



PLAT SHOWING THE
SUBDIVISION AND COMBINATION OF
TRACT "A"
"BOTETOURT COMMONS" - PHASE 2
(P.B. 25, PG. 43)
AND
PARCEL "G-1"
"BOTETOURT COMMONS" - PHASE 2
(P.B. 25, PG. 43)
PROPERTY OF
TIMBERBROOK ASSOCIATES, L.C.
CREATING NEW
PARCEL "G-1A" (2.884 ACRES)
"BOTETOURT COMMONS" - PHASE 2
SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

DATE: December 1, 2009
COMM. NO.: 09-044
SCALE: NONE

SHEET 1 OF 3

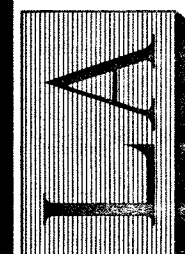
LINE	BEARING	DISTANCE
W1-W2	S 36°54'40" W	69.02'
W2-W3	S 31°17'18" E	151.08*
W3-W4	S 51°45'35" W	25.11'
W4-W5	N 30°04'52" W	172.57*
W5-W6	N 36°54'40" E	64.57'
W6-7	N 70°33'29" E	6.07*
7-8	N 70°09'31" E	18.41'
8-W1	S 38°14'01" E	11.95'
* DENOTES CURVE BEARING AND CHORD		

MERIDIAN OF
P.B. 25, PG. 43

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

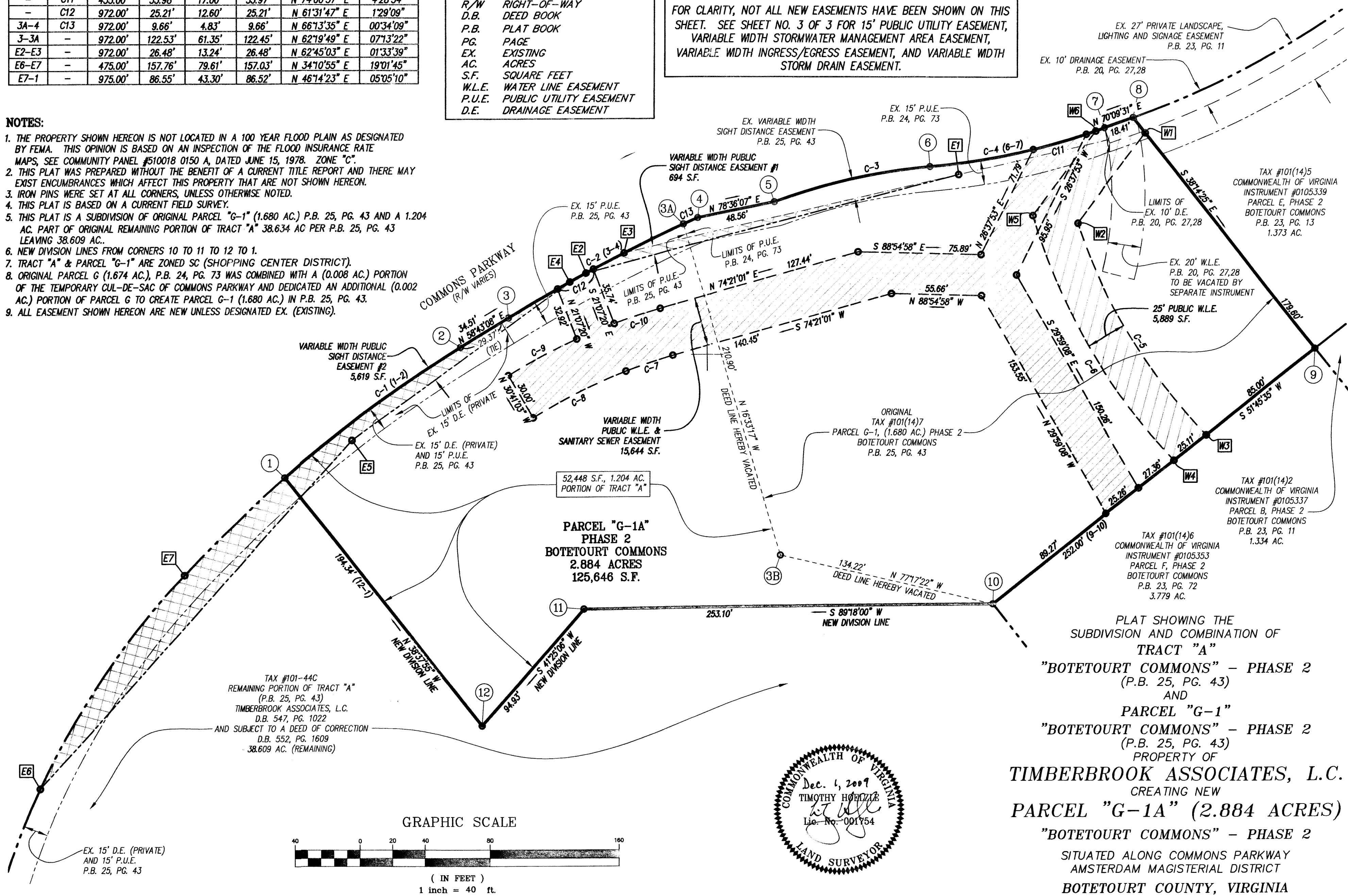


DATE:	December 1, 2009
COMM. NO.:	09-044
SCALE:	1" = 40'

1. THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS, SEE COMMUNITY PANEL #510018 0150 A, DATED JUNE 15, 1978. ZONE "C".
2. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THIS PROPERTY THAT ARE NOT SHOWN HEREON.
3. IRON PINS WERE SET AT ALL CORNERS, UNLESS OTHERWISE NOTED.
4. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
5. THIS PLAT IS A SUBDIVISION OF ORIGINAL PARCEL "G-1" (1.680 AC.) P.B. 25, PG. 43 AND A 1.204 AC. PART OF ORIGINAL REMAINING PORTION OF TRACT "A" 38.634 AC PER P.B. 25, PG. 43 LEAVING 38.609 AC..
6. NEW DIVISION LINES FROM CORNERS 10 TO 11 TO 12 TO 1.
7. TRACT "A" & PARCEL "G-1" ARE ZONED SC (SHOPPING CENTER DISTRICT).
8. ORIGINAL PARCEL G (1.674 AC.), P.B. 24, PG. 73 WAS COMBINED WITH A (0.008 AC.) PORTION OF THE TEMPORARY CUL-DE-SAC OF COMMONS PARKWAY AND DEDICATED AN ADDITIONAL (0.002 AC.) PORTION OF PARCEL G TO CREATE PARCEL G-1 (1.680 AC.) IN P.B. 25, PG. 43.
9. ALL EASEMENT SHOWN HEREON ARE NEW UNLESS DESIGNATED EX. (EXISTING).

R/W	RIGHT-OF-WAY
D.B.	DEED BOOK
P.B.	PLAT BOOK
P.G.	PAGE
EX.	EXISTING
AC.	ACRES
S.F.	SQUARE FEET
W.L.E.	WATER LINE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT

FOR CLARITY, NOT ALL NEW EASEMENTS HAVE BEEN SHOWN ON THIS SHEET. SEE SHEET NO. 3 OF 3 FOR 15' PUBLIC UTILITY EASEMENT, VARIABLE WIDTH STORMWATER MANAGEMENT AREA EASEMENT, VARIABLE WIDTH INGRESS/EGRESS EASEMENT, AND VARIABLE WIDTH STORM DRAIN EASEMENT.



PLAT SHOWING THE
 SUBDIVISION AND COMBINATION OF
 TRACT "A"
 "BOTETOURT COMMONS" – PHASE 2
 (P.B. 25, PG. 43)
 AND
 PARCEL "G-1"
 "BOTETOURT COMMONS" – PHASE 2
 (P.B. 25, PG. 43)
 PROPERTY OF
 MBERBROOK ASSOCIATES, L.P.
 CREATING NEW
 PARCEL "G-1A" (2.884 ACRES)
 "BOTETOURT COMMONS" – PHASE 2
 SITUATED ALONG COMMONS PARKWAY
 AMSTERDAM MAGISTERIAL DISTRICT
 BOTETOURT COUNTY, VIRGINIA

TIMBERBROOK ASSOCIATES, L.C.
CREATING NEW
PARCEL "G-1A" (2.884 ACRES)

SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

P.B. PG

09044rp01-sheet 3.plt

15' PUBLIC UTILITY EASEMENT LINE TABLE (3,197 S.F.)		
LINE	BEARING	DISTANCE
9-A1	S 51°45'35" W	133.20' (TIE)
A1-PUE1	S 51°45'35" W	15.05'
PUE1-PUE2	N 28°39'20" W	203.36*
PUE2-PUE3	N 14°23'49" W	11.59'
PUE3-PUE4	N 81°27'04" E	15.04'
PUE4-A21	S 14°35'58" E	10.05'
A21-A1	S 28°44'38" E	197.16*

* DENOTES CURVE BEARING AND CHORD

VARIABLE WIDTH PRIVATE STORMWATER MANAGEMENT AREA EASEMENT LINE TABLE (18,180 S.F.)		
LINE	BEARING	DISTANCE
8-9	S 38°14'25" E	179.60'
9-SWM1	S 51°45'35" W	103.08'
SWM1-SWM2	N 28°56'32" W	184.76*
SWM2-SWM3	N 14°23'49" W	23.48'
SWM3-7	N 73°26'24" E	49.80*
7-8	N 70°09'18" E	18.40'

* DENOTES CURVE BEARING AND CHORD

CURVE TABLE							
CORNER	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1-2	C1	775.00'	134.40'	67.37'	134.23'	N 53°45'03" E	9°56'11"
3-4	C2	972.00'	132.18'	66.19'	132.08'	N 62°36'53" E	7°47'30"
5-6	C3	381.00'	98.81'	49.68'	98.53'	N 77°19'42" E	14°51'32"
6-7	C4	435.00'	110.84'	55.72'	110.54'	N 77°27'29" E	14°35'57"
SWM1-SWM3	C14	367.84'	186.76'	95.44'	184.76'	N 28°56'32" W	29°05'25"
SWM3-7	C15	435.00'	49.83'	24.94'	49.80'	N 73°26'24" E	6°33'46"
A1-A2	C16	397.84'	28.45'	14.23'	28.45'	N 41°02'31" W	4°05'51"
A6-A7	C17	20.00'	26.09'	15.27'	24.28'	N 68°16'49" W	74°44'19"
A12-A13	C18	775.00'	24.00'	12.00'	24.00'	N 51°55'07" E	1°46'28"
A16-A17	C19	44.00'	58.20'	34.24'	54.05'	S 67°45'34" E	75°46'50"
A20-A21	C20	397.84'	140.78'	71.13'	140.05'	N 24°32'04" W	20°16'29"
A22-SWM3	C21	435.00'	30.05'	15.03'	30.04'	N 78°42'01" E	3°57'29"
PUE1-PUE2	C22	412.84'	205.48'	104.91'	203.36'	N 28°39'20" W	28°31'01"
A21-A1	C23	397.84'	199.24'	101.75'	197.16'	S 28°44'38" E	28°41'37"
D5-D6	C24	367.84'	20.33'	10.17'	20.33'	S 35°44'33" E	3°09'59"

LEGEND	
R/W	RIGHT-OF-WAY
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
EX.	EXISTING
AC.	ACRES
S.F.	SQUARE FEET
W.L.E.	WATER LINE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT



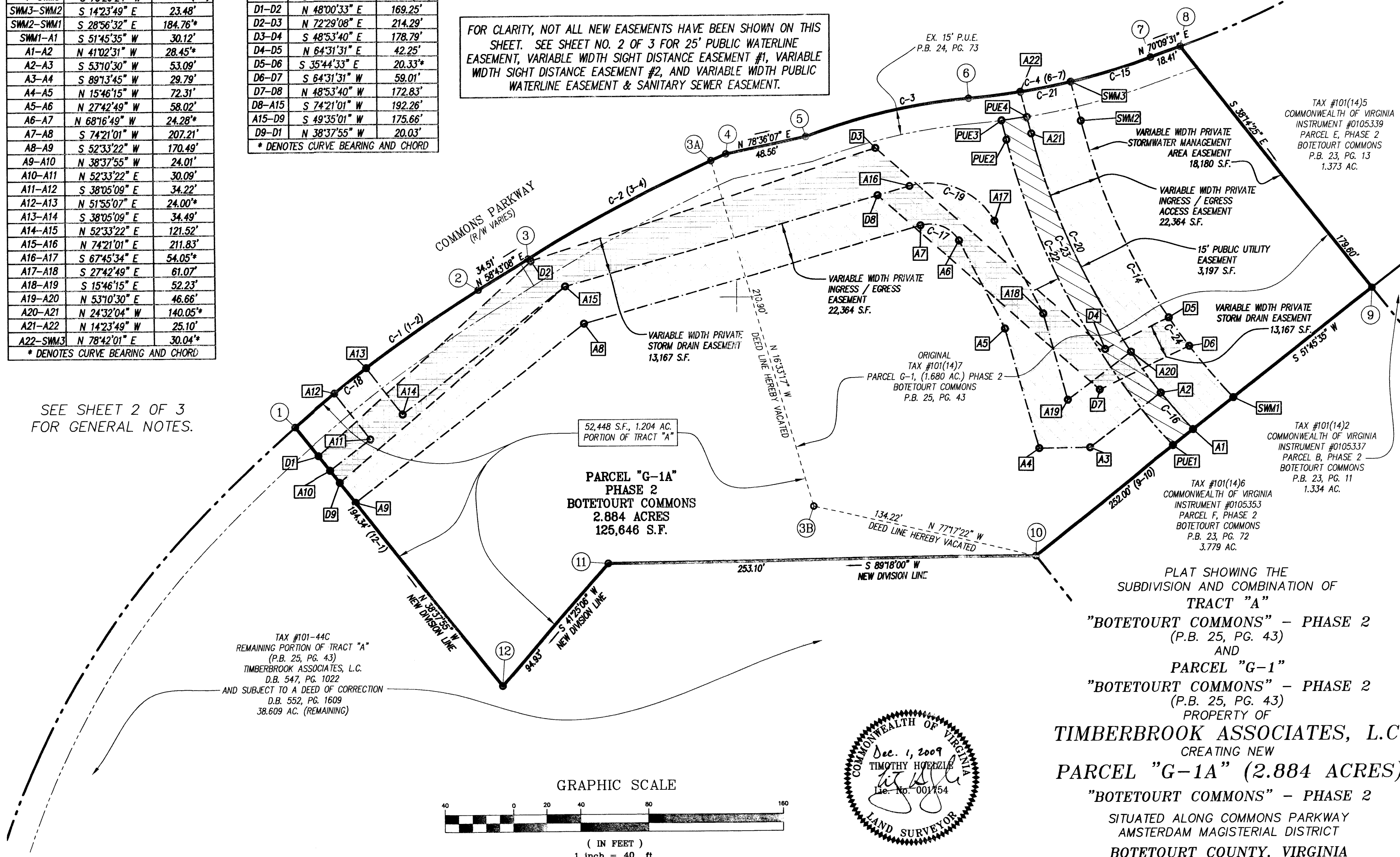
VARIABLE WIDTH PRIVATE INGRESS / EGRESS EASEMENT LINE TABLE (22,364 S.F.)		
LINE	BEARING	DISTANCE
7-SWM3	S 73°26'24" W	49.80* (TIE)
SWM3-SWM2	S 14°23'49" E	23.48'
SWM2-SWM1	S 28°56'32" E	184.76*
SWM1-A1	S 51°45'35" W	30.12'
A1-A2	N 41°02'31" W	28.45*
A2-A3	S 53°10'30" W	53.09'
A3-A4	S 89°13'45" W	29.79'
A4-A5	N 15°46'15" W	72.31'
A5-A6	N 27°42'49" W	58.02'
A6-A7	N 68°16'49" W	24.28*
A7-A8	S 74°21'01" W	207.21'
A8-A9	S 52°33'22" W	170.49'
A9-A10	N 38°37'55" W	24.01'
A10-A11	N 52°33'22" E	30.09'
A11-A12	S 38°05'09" E	34.22'
A12-A13	N 51°55'07" E	24.00*
A13-A14	S 38°05'09" E	34.49'
A14-A15	N 52°33'22" E	121.52'
A15-A16	N 74°21'01" E	211.83'
A16-A17	S 67°45'34" E	54.05*
A17-A18	S 27°42'49" E	61.07'
A18-A19	S 15°46'15" E	52.23'
A19-A20	N 53°10'30" E	46.66'
A20-A21	N 24°32'04" W	140.05*
A21-A22	N 14°23'49" W	25.10'
A22-SWM3	N 78°42'01" E	30.04*

* DENOTES CURVE BEARING AND CHORD

VARIABLE WIDTH PRIVATE STORM DRAIN EASEMENT LINE TABLE (13,167 S.F.)		
LINE	BEARING	DISTANCE
1-D1	S 38°37'55" E	21.90' (TIE)
D1-D2	N 48°00'33" E	169.25'
D2-D3	N 72°29'08" E	214.29'
D3-D4	S 48°53'40" E	178.79'
D4-D5	N 64°31'31" E	42.25'
D5-D6	S 35°44'33" E	20.33*
D6-D7	S 64°31'31" W	59.01'
D7-D8	N 48°53'40" W	172.83'
D8-A15	S 74°21'01" W	192.26'
A15-D9	S 49°35'01" W	175.66'
D9-D1	N 38°37'55" W	20.03'

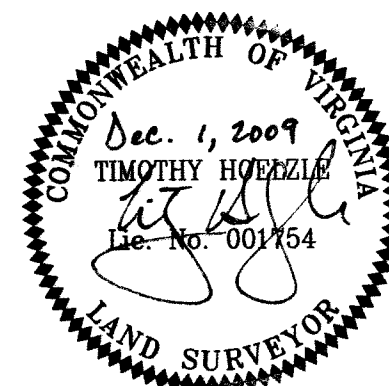
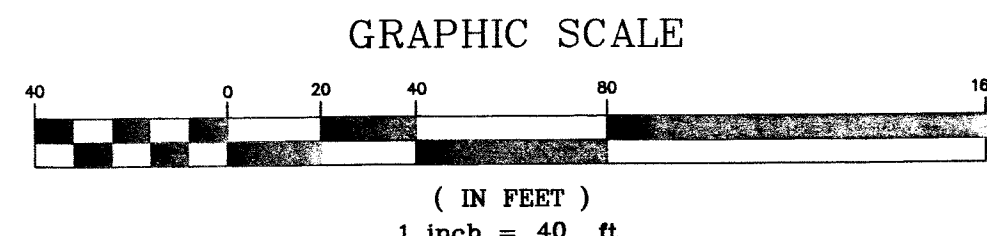
* DENOTES CURVE BEARING AND CHORD

FOR CLARITY, NOT ALL NEW EASEMENTS HAVE BEEN SHOWN ON THIS SHEET. SEE SHEET NO. 2 OF 3 FOR 25' PUBLIC WATERLINE EASEMENT, VARIABLE WIDTH SIGHT DISTANCE EASEMENT #1, VARIABLE WIDTH SIGHT DISTANCE EASEMENT #2, AND VARIABLE WIDTH PUBLIC WATERLINE EASEMENT & SANITARY SEWER EASEMENT.



SEE SHEET 2 OF 3
FOR GENERAL NOTES.

TAX #101-44C
REMAINING PORTION OF TRACT "A"
(P.B. 25, PG. 43)
TIMBERBROOK ASSOCIATES, L.C.
D.B. 547, PG. 1022
AND SUBJECT TO A DEED OF CORRECTION
D.B. 552, PG. 1609
38.609 AC. (REMAINING)



PLAT SHOWING THE
SUBDIVISION AND COMBINATION OF
TRACT "A"
"BOTETOURT COMMONS" - PHASE 2
(P.B. 25, PG. 43)
AND
PARCEL "G-1"
"BOTETOURT COMMONS" - PHASE 2
(P.B. 25, PG. 43)
PROPERTY OF
TIMBERBROOK ASSOCIATES, L.C.
CREATING NEW
PARCEL "G-1A" (2.884 ACRES)
"BOTETOURT COMMONS" - PHASE 2
SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

09044rp02-sheet 1.plt

KNOW ALL MEN BY THESE PRESENTS, TO WIT: THAT TIMBERBROOK ASSOCIATES, L.C. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON BOUNDED BY OUTSIDE CORNERS 1 THRU 12 TO 1 INCLUSIVE AND SHOWN AS ALL OF PARCEL "G-1A" PLAT BOOK 49, PAGES 15-17, WHICH COMPRISES PART OF THE LAND CONVEYED TO SAID OWNER BY DEED FROM JAMES COULTER HANCOCK DATED JANUARY 6, 1998 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF BOTETOURT COUNTY, VIRGINIA IN DEED BOOK 547, PAGE 1022 AND SUBJECT TO A DEED OF CORRECTION DATED JANUARY 6, 1998 AND RECORDED IN THE AFORESAID CLERK'S OFFICE IN DEED BOOK 552, PAGE 1607. WHICH LAND IS SUBJECT TO A CERTAIN DEED OF TRUST TO DOUGLAS W. DENSMORE, TRUSTEE, SECURING FIRST-CITIZENS BANK & TRUST COMPANY, BENEFICIARY, RECORDED IN THE AFORESAID CLERK'S OFFICE IN DEED BOOK 547, PAGE 1024 AND MODIFIED IN INSTRUMENT #0302440.

TIMBERBROOK ASSOCIATES, L.C. DOES BY VIRTUE OF THE RECORDATION OF THIS PLAT JOINS WITH BOTETOURT COUNTY IN THE VACATION OF THE 1,446 S.F. PORTION OF THE EXISTING WATERLINE EASEMENT CREATED IN PLAT BOOK 20, PAGE 27 AND 28 AS SHOWN HEREON.

IN WITNESS THEREOF IS HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS ON THIS 14TH DAY OF DECEMBER 2009.

TIMBERBROOK ASSOCIATES, L.C.

BY: Steven S. Strauss
STEVEN S. STRAUSS, MANAGER
TIMBERBROOK ASSOCIATES, L.C.

BY: Douglas W. Densmore
DOUGLAS W. DENSMORE, TRUSTEE
SECURING FIRST-CITIZENS
BANK & TRUST COMPANY,
BENEFICIARY

STATE OF Virginia
Carol C. Dagley, A NOTARY PUBLIC IN
AND FOR THE AFORESAID County AND STATE DO HEREBY CERTIFY THAT
STEVEN S. STRAUSS, MANAGER OF TIMBERBROOK ASSOCIATES, L.C., OWNER, HAS
PERSONALLY APPEARED BEFORE ME IN MY AFORESAID County AND
STATE AND ACKNOWLEDGED THE SAME ON Dec. 14, 2009.

MY COMMISSION EXPIRES Aug. 31, 2013 REG. # 16516

Carol C. Dagley
NOTARY PUBLIC

STATE OF Virginia
Cynthia C. Mendoza, A NOTARY PUBLIC IN
AND FOR THE AFORESAID City AND STATE DO HEREBY CERTIFY THAT
DOUGLAS W. DENSMORE, TRUSTEE, SECURING FIRST-CITIZENS BANK & TRUST COMPANY,
BENEFICIARY, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID
City AND STATE AND ACKNOWLEDGED THE SAME ON
Dec. 11, 2009.

MY COMMISSION EXPIRES 7/31/2013 REG. # 356145

Cynthia C. Mendoza
NOTARY PUBLIC

LEGEND	
R/W	RIGHT-OF-WAY
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
EX.	EXISTING
AC.	ACRES
S.F.	SQUARE FEET
W.L.E.	WATER LINE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT

CAROL C. DAGLEY
Notary Public
Commonwealth of Virginia
165167
My Commission Expires Aug 31, 2013

CYNTHIA C. MENDOZA
NOTARY PUBLIC
REG. #356145
MY COMMISSION
EXPIRES
7/31/2013
COMMONWEALTH OF VIRGINIA

LOCATION MAP
NO SCALE

BOUNDARY COORDINATES ORIGIN OF COORDINATES IS ASSUMED		
CORNER	NORTHING	EASTING
1	5987.86399	12441.33216
2	6067.23625	12549.58555
3	6085.15551	12579.07961
4	6145.90846	12696.35824
5	6155.50586	12743.96462
6	6177.11996	12840.09492
7	6201.12402	12947.99682
8	6207.37106	12965.30933
9	6066.30760	13076.47609
10	5910.32865	12878.54867
11	5907.23607	12625.46669
12	5836.04696	12562.66435
1	5987.86399	12441.33216

AREA = 2.884 AC. (125,646 S.F.)

TAX #101(14)2
COMMONWEALTH OF VIRGINIA
INSTRUMENT #0105337
PARCEL B, PHASE 2
BOTETOURT COMMONS
P.B. 23, PG. 11
1.334 AC.

IN THE CLERK'S OFFICE FOR THE CIRCUIT COURT OF BOTETOURT COUNTY, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED, IS ADMITTED TO RECORD AT 3:24 O'CLOCK P.M. ON THIS 16th DAY OF JANUARY, 2009.

ATTEST: TOMMY L. MOORE, CLERK

APPROVED: C. Z. Supan 12/22/09
BOTETOURT COUNTY, SUBDIVISION AGENT DATE

THIS PLAT DOES NOT CONSTITUTE A SUBDIVISION OR COMBINATION OF LAND UNDER THE BOTETOURT COUNTY SUBDIVISION AND/OR ZONING ORDINANCES

PLAT SHOWING THE
VACATION OF A 1,446 S.F. PORTION OF THE
EXISTING 20' WATERLINE EASEMENT
(P.B. 20, PG. 27 AND 28)
ON

PARCEL "G-1A"
"BOTETOURT COMMONS" - PHASE 2
(P.B. 49, PG. 15-17)
PROPERTY OF

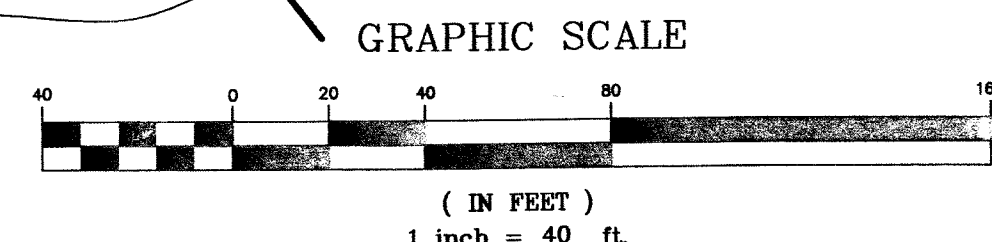
TIMBERBROOK ASSOCIATES, L.C.

SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

LINE	BEARING	DISTANCE
8-8A	N 70°09'31" E	0.74'
8A-8B	N 70°05'37" E	1.22' *
8B-W1	S 11°10'52" E	14.07' *
W1-W4	S 36°54'40" W	29.22'
W4-7A	N 07°46'02" W	30.61' *
7A-8	N 70°09'31" E	18.19'
AREA = 443 S.F.		

* DENOTES CHORD AND CHORD BEARING

PARCEL "G-1A"
PHASE 2
BOTETOURT COMMONS
(P.B. 49, PG. 15-17)
2.884 ACRES
125,646 S.F.



CORNER	CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1-2	C1	775.00'	134.40'	67.37'	134.23'	N 53°45'03" E	9°56'11"
3-4	C2	972.00'	132.18'	66.19'	132.08'	N 62°36'53" E	7°47'30"
5-6	C3	381.00'	98.81'	49.68'	98.53'	N 77°19'42" E	14°51'32"
6-7	C4	435.00'	110.84'	55.72'	110.54'	N 77°27'29" E	14°35'57"
W1-W2	C5	210.00'	86.37'	43.80'	85.76'	S 02°31'15" W	23°33'50"
W3-W4	C6	190.00'	57.87'	29.16'	57.64'	N 05°34'39" E	17°27'00"
8A-8B	-	540.00'	1.22'	0.61'	1.22'	N 70°05'37" E	0°07'47"
8B-W1	-	210.00'	14.07'	7.04'	14.07'	S 11°10'52" E	3°50'24"
W4-7A	-	190.00'	30.64'	15.35'	30.61'	N 7°46'02" W	9°14'23"

COMMONWEALTH OF VIRGINIA
Dec. 10, 2009
TIMOTHY HOPKINS
Lic. No. 0011754
LAND SURVEYOR

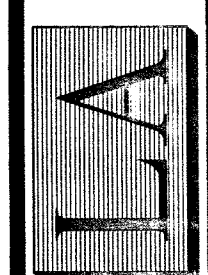
- NOTES:
- THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS, SEE COMMUNITY PANEL #510018 0150 A, DATED JUNE 15, 1978. ZONE "C".
 - THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THIS PROPERTY THAT ARE NOT SHOWN HEREON.
 - THIS PLAT IS BASED ON EXISTING RECORDS.
 - THE PURPOSE OF THIS PLAT IS TO VACATE A 1,446 S.F. PORTION OF THE 20' WATERLINE EASEMENT ORIGINALLY CREATED ON PARCEL "G-1" OF "BOTETOURT COMMONS" - PHASE 2 (P.B. 25, PG. 43), NEW PARCEL G-1A (P.B. 49, PG. 15-17) AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.
 - PARCEL "G-1" IS ZONED SC (SHOPPING CENTER DISTRICT).
 - ALL EASEMENTS AND PHYSICAL IMPROVEMENTS ARE NOT SHOWN HEREON FOR CLARITY.

TAX #101-44C
REMAINING PORTION OF TRACT "A"
(P.B. 25, PG. 43)
TIMBERBROOK ASSOCIATES, L.C.
D.B. 547, PG. 1022
AND SUBJECT TO A DEED OF CORRECTION
D.B. 552, PG. 1609
38,609 AC. (REMAINING)

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



DATE: December 10, 2009
COMM. NO.: 09-044
SCALE: 1" = 40'
SHEET 1 OF 1

KNOW ALL MEN BY THESE PRESENTS, TO WIT: THAT TIMBERBROOK ASSOCIATES, L.C. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON DESIGNATED AS TRACT "G-1A" (P.B. 49, PAGES 15-17) WHICH COMPRISES PART OF THE LAND CONVEYED TO SAID OWNER BY DEED FROM JAMES COULTER HANCOCK DATED JANUARY 6, 1998 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF BOTETOURT COUNTY, VIRGINIA IN DEED BOOK 547, PAGE 1022 AND SUBJECT TO A DEED OF CORRECTION DATED JANUARY 6, 1998 AND RECORDED IN THE AFORESAID CLERK'S OFFICE IN DEED BOOK 552, PAGE 1607. WHICH LAND IS SUBJECT TO A CERTAIN DEED OF TRUST TO DOUGLAS W. DENSMORE, TRUSTEE, SECURING FIRST-CITIZENS BANK & TRUST COMPANY, BENEFICIARY, RECORDED IN THE AFORESAID CLERK'S OFFICE IN DEED BOOK 547, PAGE 1024 AND MODIFIED IN INSTRUMENT #0302440.

TIMBERBROOK ASSOCIATES, L.C., BY VIRTUE OF THE RECORDATION OF THIS PLAT, DEDICATES THE NEW 10' PUBLIC UTILITY EASEMENT AS CREATED HEREON FOR PUBLIC USE.

IN WITNESS THEREOF IS HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS ON THIS 22nd DAY OF April 2010.

TIMBERBROOK ASSOCIATES, L.C.

BY: Steven S. Strauss
STEVEN S. STRAUSS, MANAGER
TIMBERBROOK ASSOCIATES, L.C.
Edwin P. Hunter
EDWIN P. HUNTER, SUBSTITUTE TRUSTEE

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO CREATE A 10' PUBLIC UTILITY EASEMENT OVER TRACT "G-1A" (P.B. 49, PG. 15-17), THE PROPERTY OF TIMBERBROOK ASSOCIATES, L.C. AND DOES NOT CONSTITUTE A SUBDIVISION, BOUNDARY, TOPOGRAPHIC, OR PHYSICAL IMPROVEMENT SURVEY.
2. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
3. LEGAL REFERENCES: PLAT BOOK 49, PAGES 15-17 (PLAT); DEED BOOK 552, PAGE 1607; DEED BOOK 547, PAGE 1022.
4. FOR CLARITY PURPOSES, NOT ALL PHYSICAL IMPROVEMENTS OR PROPOSED PHYSICAL IMPROVEMENTS ARE SHOWN ON THIS PLAT.
5. PORTIONS THE NEW 10' PUBLIC UTILITY EASEMENT SHALL EXTEND TO THE FACE OF THE BUILDING UNDER CONSTRUCTION.
6. THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS, SEE COMMUNITY PANEL #51001B 0150 A, DATED JUNE 15, 1978. ZONE "C".

STATE OF Virginia
County of Roanoke

I, Carol C. Dagley, A NOTARY PUBLIC IN AND FOR THE AFORESAID County AND STATE DO HEREBY CERTIFY THAT STEVEN S. STRAUSS, MANAGER OF TIMBERBROOK ASSOCIATES, L.C., OWNER, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID County AND STATE AND ACKNOWLEDGED THE SAME ON Apr. 22, 2010.

MY COMMISSION EXPIRES Aug. 31, 2013 REG. # 165167

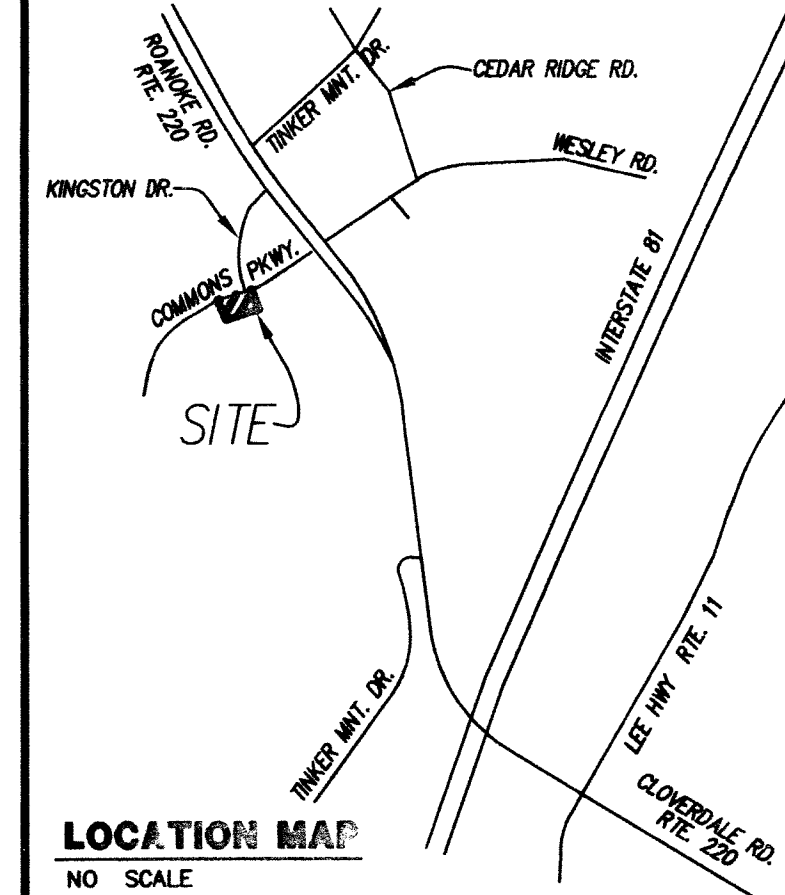
STATE OF Virginia
City of Roanoke

I, Karen Blankenship, A NOTARY PUBLIC IN AND FOR THE AFORESAID City AND STATE DO HEREBY CERTIFY THAT EDWIN P. HUNTER, SUBSTITUTE TRUSTEE, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID City AND STATE AND ACKNOWLEDGED THE SAME ON April 21, 2010.

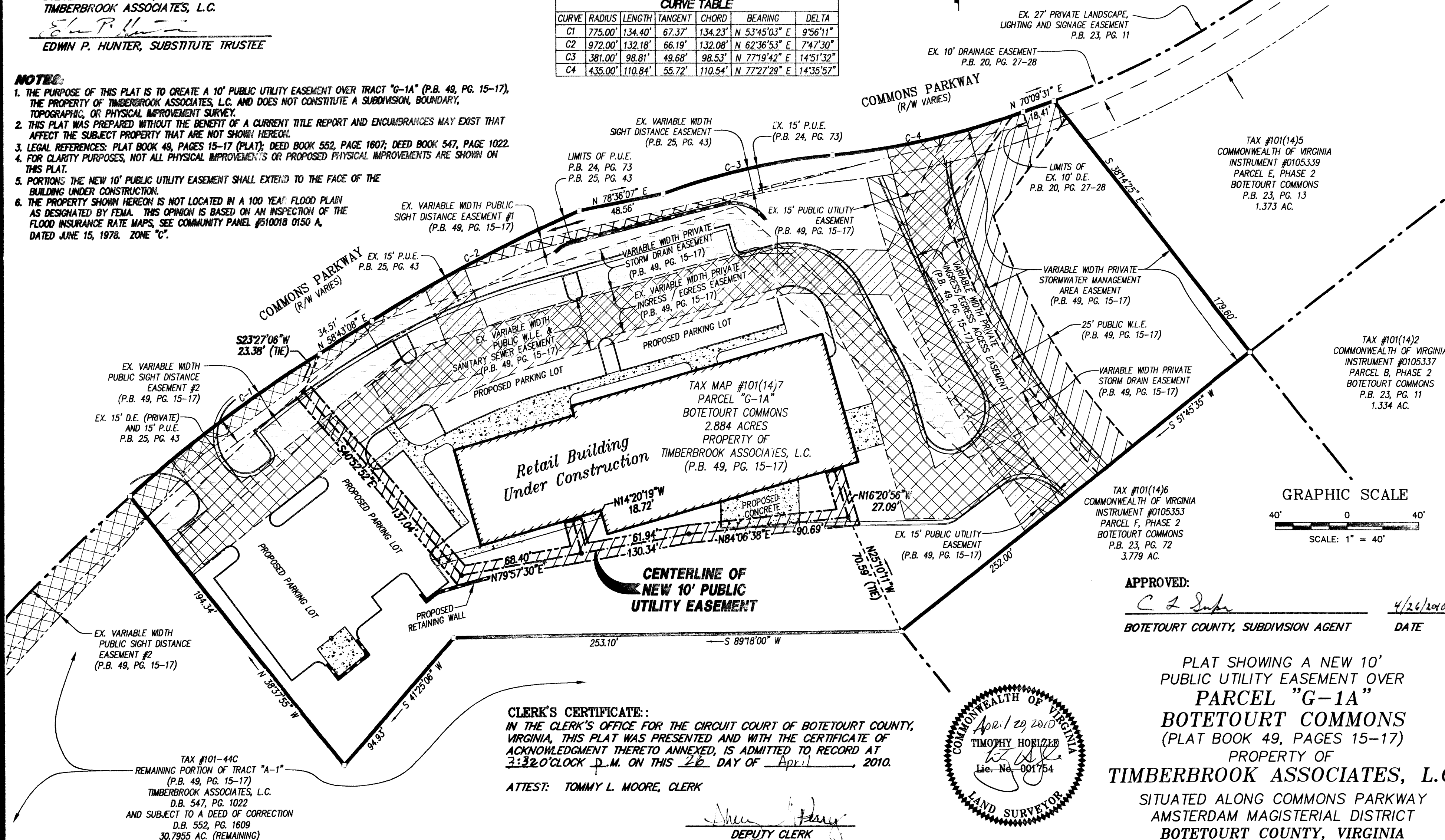
MY COMMISSION EXPIRES December 31, 2011 REG. # 309207

Karen W. Blankenship
NOTARY PUBLIC

LEGEND	
R/W	RIGHT OF WAY
EX.	EXISTING
P.B.	PLAT BOOK
D.B.	DEED BOOK
PG.	PAGE
INST.	INSTRUMENT
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT



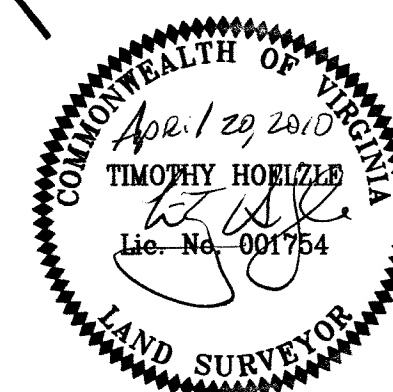
CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	775.00'	134.40'	67.37'	134.23'	N 53°45'03" E
C2	972.00'	132.18'	66.19'	132.08'	N 62°36'53" E
C3	381.00'	98.81'	49.68'	98.53'	N 77°19'42" E
C4	435.00'	110.84'	55.72'	110.54'	N 77°27'29" E



CLERK'S CERTIFICATE:
IN THE CLERK'S OFFICE FOR THE CIRCUIT COURT OF BOTETOURT COUNTY, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED, IS ADMITTED TO RECORD AT 3:32 O'CLOCK P.M. ON THIS 26 DAY OF April, 2010.

ATTEST: TOMMY L. MOORE, CLERK

Sheila Harty
DEPUTY CLERK

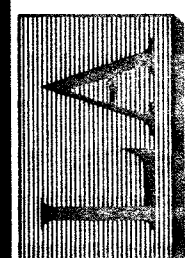


APPROVED:

C. L. Super 4/26/2010
BOTETOURT COUNTY, SUBDIVISION AGENT DATE

PLAT SHOWING A NEW 10' PUBLIC UTILITY EASEMENT OVER
PARCEL "G-1A"
BOTETOURT COMMONS
(PLAT BOOK 49, PAGES 15-17)
PROPERTY OF
TIMBERBROOK ASSOCIATES, L.C.
SITUATED ALONG COMMONS PARKWAY
AMSTERDAM MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



DATE: April 20, 2010
COMM. NO.: 09-044
SCALE: 1" = 40'
SHEET 1 OF 1

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM
4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018