

SITE SUMMARY

CURRENT OWNER & DEVELOPER: COMPTON DEVELOPMENT LLC
7929 SEQUOIA DRIVE
ROANOKE, VA 24019

TAX MAP NUMBERS: 037.09-08-01.00

LOT ACREAGE: 3.632 ACRES TOTAL

ZONING: R1, ZERO LOT LINE OPTION

PROPOSED USE: RESIDENTIAL SUBDIVISION

MINIMUM LOT SIZE REQUIRED: 5,760 SQ.FT.

MINIMUM LOT FRONTAGE REQUIRED: 48 FT; 30 FT ON CUL-DE-SAC

LOT FRONTAGE PROVIDED: MIN. 48 FT; 30 FT ON CUL-DE-SAC

SETBACKS: FRONT: 24 FT, 30 FT ON ANY LOT NOT WITHIN THE COMMON DEVELOPMENT
SIDE: MINIMUM SIDE YARD OPPOSITE THE ZERO YARD SHALL BE 10', MIN. 10' ON ANY SIDE YARD NOT WITHIN THE COMMON DEVELOPMENT
REAR: 20 FT, 25 FT ON ANY LOT NOT WITHIN THE COMMON DEVELOPMENT

A PERPETUAL FIVE-FOOT WALL MAINTENANCE EASEMENT SHALL BE PROVIDED ON THE LOT ADJACENT TO THE ZERO LOT LINE PROPERTY LINE. THIS EASEMENT SHALL BE KEPT CLEAR OF STRUCTURES OR ANY OTHER IMPROVEMENT WHICH WOULD INFRINGE ON THE USE OF THE EASEMENT, WITH THE EXCEPTION OF FREESTANDING WALLS AND FENCES. THIS EASEMENT SHALL BE SHOWN ON THE PLAT AND INCORPORATED INTO EACH DEED TRANSFERRING TITLE TO THE PROPERTY.

BOARD OF SUPERVISORS: APPROVAL WILL NEED TO BE OBTAINED FROM THE THE BOARD OF SUPERVISORS TO VACATE THE EXISTING PUBLIC RIGHT OF WAY AT THE EXISTING TERMINATION POINT OF GREEN TREE LANE.

MAXIMUM BUILDING COVERAGE: 40% OF TOTAL LOT AREA

MAXIMUM LOT COVERAGE: 50% OF TOTAL LOT AREA

FEMA MAP#: 51161C0134G (EFFECTIVE DATE 09/28/2007)

MAXIMUM BUILDING HEIGHT: 45 FT

SIGNAGE:

A MAXIMUM OF 30 SF OF SIGNAGE IS ALLOWED FOR IDENTIFICATION OF THIS SUBDIVISION. SIGNAGE MUST MEET ALL OF THE REQUIREMENTS OF THE ROANOKE COUNTY ZONING ORDINANCE SECTION 30-93 AND WILL REQUIRE A SEPARATE PERMIT.

WATER & SEWER:

ALL PROPOSED LOTS ARE TO BE SERVED BY PUBLIC WATER & SEWER.

FIRE FLOW & FIRE HYDRANT REQUIREMENTS:

THE PROPOSED FIRE HYDRANT IS LOCATED WITHIN 500' OF THE PROPOSED SINGLE FAMILY RESIDENTIAL HOMES AS MEASURED ALONG THE CENTERLINE OF THE PROPOSED STREET. THE PROPOSED SINGLE FAMILY RESIDENTIAL HOMES WILL BE SERVED BY THE EXISTING WATERLINE AND PROPOSED WATERLINE SYSTEM. AN OFF-SITE MAINLINE PRV IS ALSO BEING INSTALLED AS PART OF THIS PROJECT TO PROVIDE THE REQUIRED FIRE FLOW. SEE W.V.W.A. MODELING FOR DETAILS.

STOP SIGN INSTALLATION REQUIREMENTS:

A VDOT STANDARD STOP SIGN AND POST SHALL BE INSTALLED AT THE INTERSECTION OF GREEN TREE LANE AND NORTH LAKES DRIVE PER VDOT REQUIREMENTS.

WESTERN VIRGINIA WATER AUTHORITY INSPECTIONS:

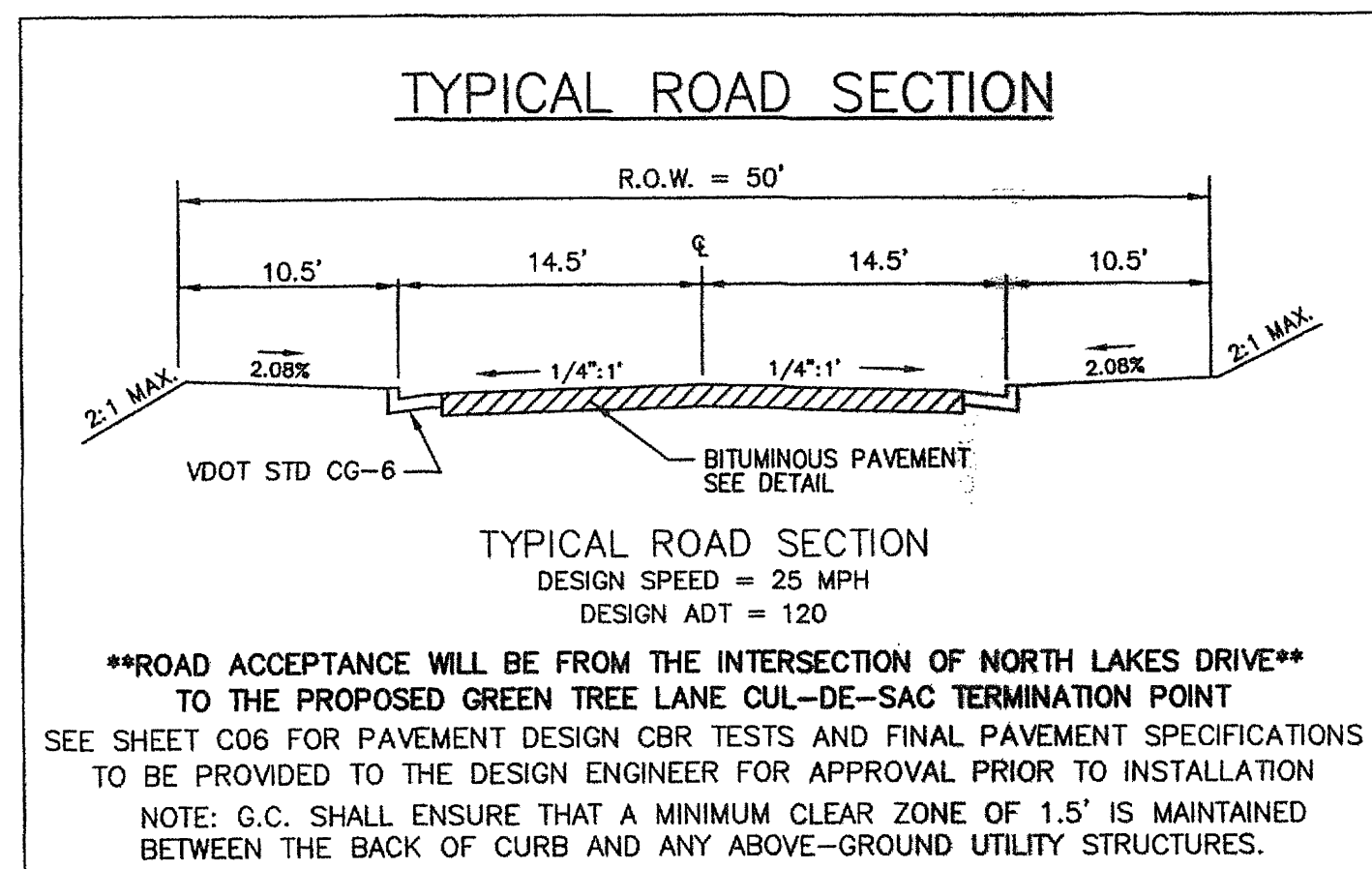
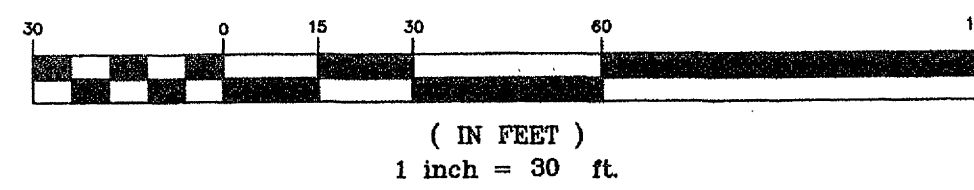
THE G.C. SHALL CONTACT THE W.V.W.A. INSPECTOR AT LEAST 24 HOURS PRIOR TO THE BEGINNING OF WORK. (540) 537-3460

G.C. SHALL HAVE THE OPTION TO PROVIDE PRIVATE DOMESTIC WATERLINE PRESSURE PUMPS IN THE RESIDENCE TO AID IN WATER PRESSURE FOR THE PROPOSED UNITS.

ROAD CENTERLINE DATA:

LINE	BEARING	DISTANCE			
10+00 - 12+46.42	N. 15° 19' 00" E.	246.41'			
CURVE	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
10+00 - 14+00.78	200'	81.25'	150.56	N. 06° 47' 42" W.	44° 13' 23" E.
LINE	BEARING	DISTANCE			
14+00.78 - 14+30.63	N. 28° 54' 23" W.	29.84'			

GRAPHIC SCALE



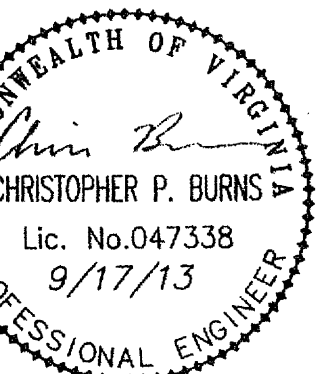
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RESIDENTIAL LAND DEVELOPMENT ENGINEERING
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WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



GREEN TREE SUBDIVISION
LAYOUT & UTILITY PLAN
CATAWBA DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY BTC

DESIGNED BY BTC

CHECKED BY CPB

DATE 10-12-2012

SCALE 1"=30'

REVISIONS:
1-21-2013
9-17-2013

SHEET NO.

C04

JOB NO. R1100082.00