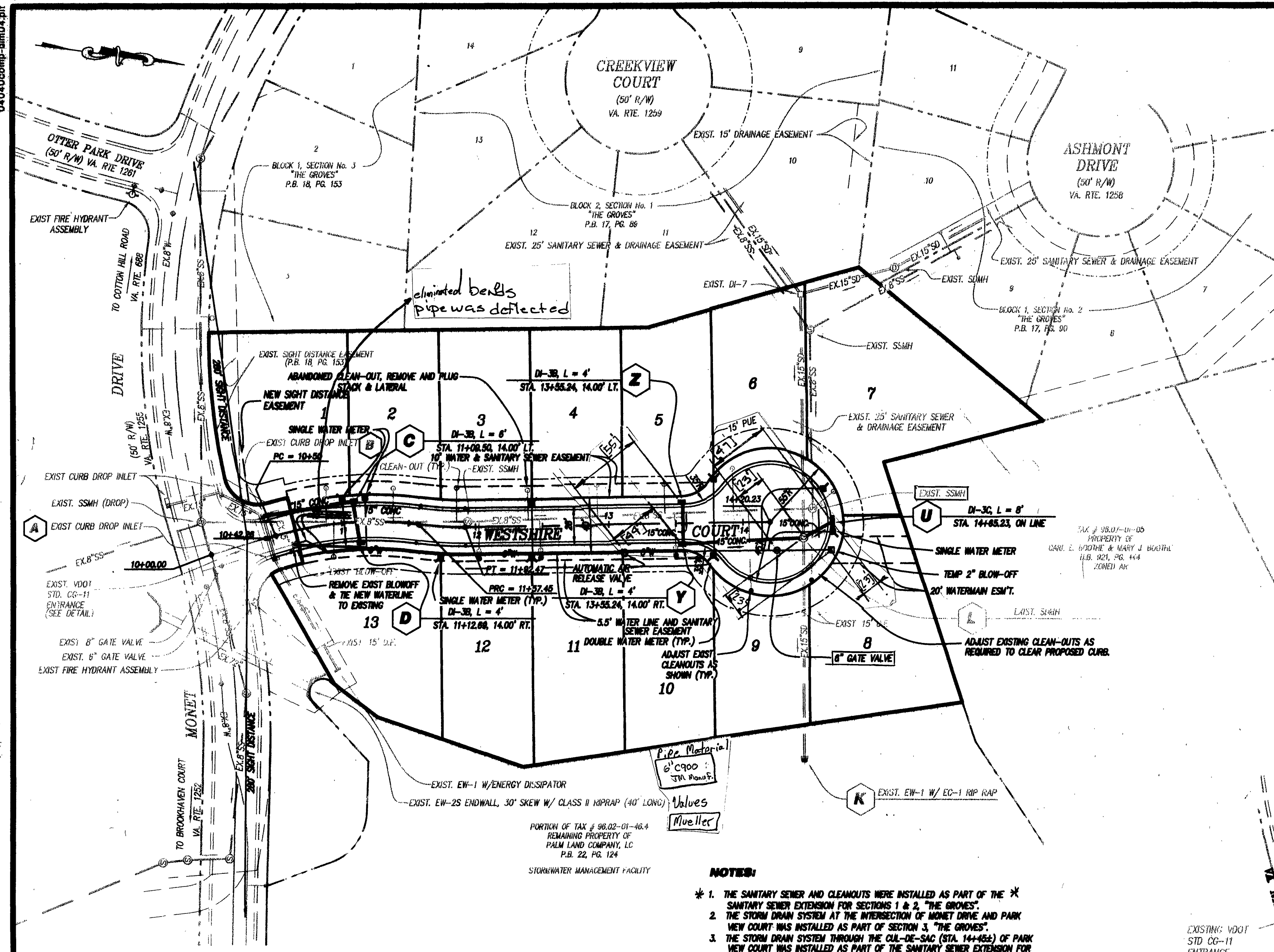


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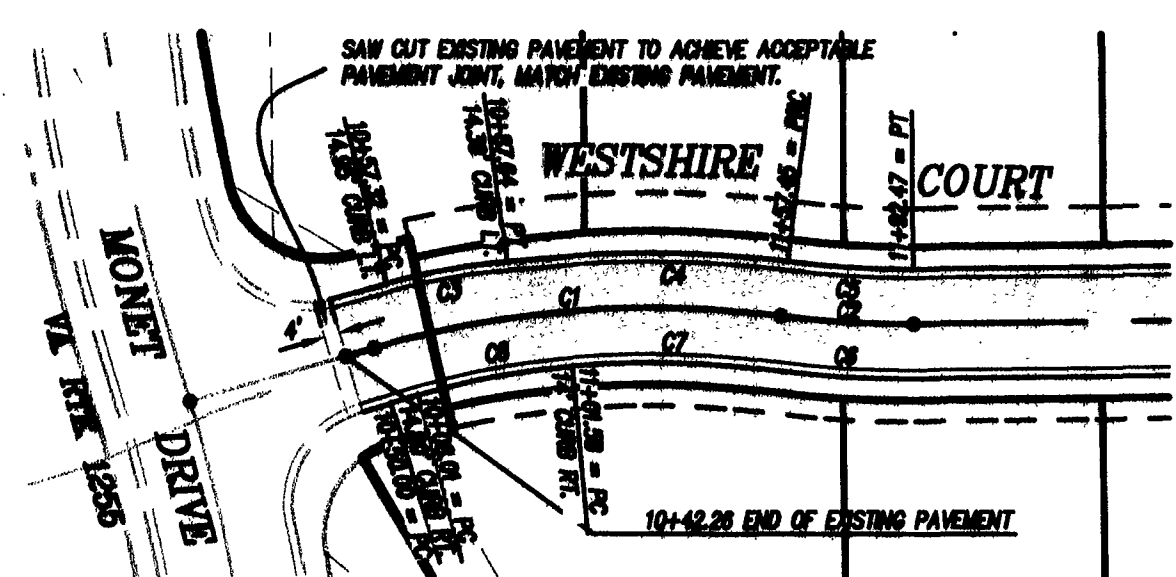
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* Air Release Valve	6" Gate Valve	Temp B/B
55' From MH Z	47' From MH U	23' From MH U
44' From MH Y	23' From Ex. SS MH	23' From Ex. SS MH

SYMBOL LEGEND		
EXISTING	PROPOSED	
	— (SINGLE)	WATER METER
	— (DOUBLE)	WATER VALVE
		WATER MANHOLE
		FIRE HYDRANT
		WATER LINE
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		PAVEMENT
		CONCRETE CURB & GUTTER, CG-6
		CLEAN-OUT
		SANITARY SEWER LINE
		STORM DRAIN LINE
		DROP INLET
		CONTOURS

DEVELOPMENT SUMMARY		
SECTION	AREA	LOTS
SECTION 1	7.88 AC	22
SECTION 2	5.16 AC	20
SECTION 3	7.84 AC	18
SECTION 4	4.88 AC	17
SECTION 5	3.74 AC	15
SECTION 6	5.80 AC	17
SECTION 7	1.18 AC	12
SECTION 8	16.83 AC	31
SECTION 9	6.73 AC	20
SECTION 10	3.58 AC	13
SECTION 11	4.88 AC	15
TOTALS	74.63 AC	200
DENSITY FOR SECTION 10		3.63 LOTS/AC
AVERAGE DENSITY, SECTION 1 THROUGH SECTION 11		2.68 LOTS/AC
CURRENT AVERAGE DENSITY FOR TOTAL SITE (80.88 AC)		2.48 LOTS/AC
MAXIMUM DENSITY ALLOWED FOR TOTAL SITE		2.50 LOTS/AC

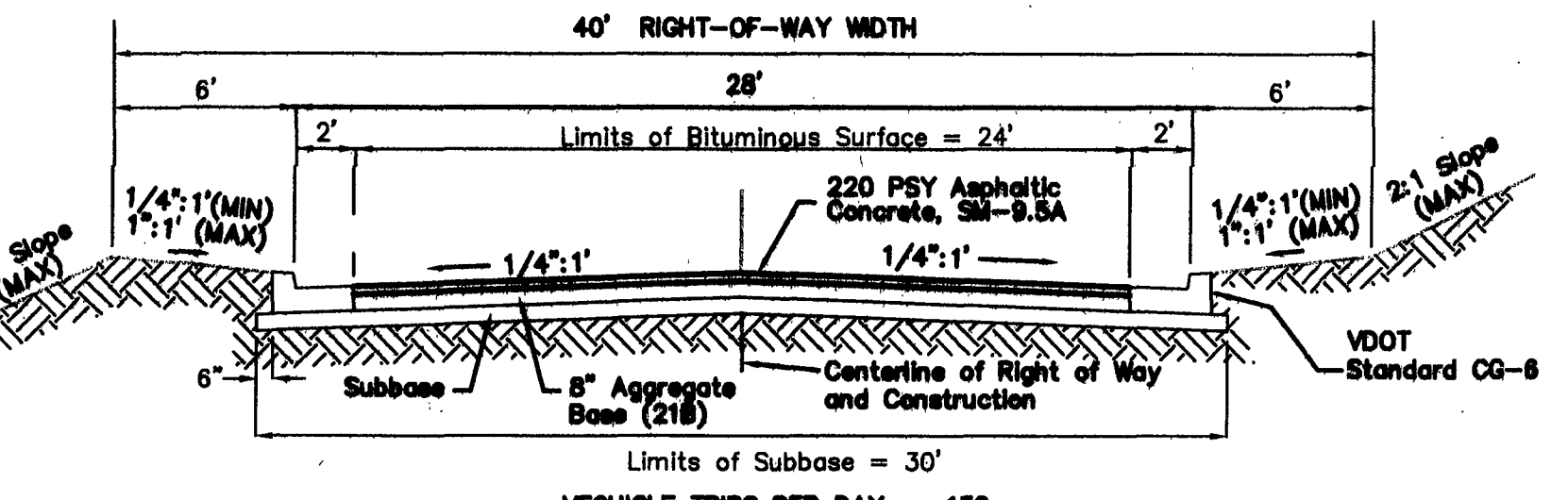


CENTERLINE CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	280.44'	107.45'	84.00'	108.00'	S 11°24'41" E	23°30'36"
C2	280.00'	38.00'	17.84'	34.00'	N 0°11'10" W	8°01'34"

CONCRETE CURB CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C3	170.00'	38.00'	18.00'	38.00'	S 17°24'18" E	10°46'20"
C4	274.44'	88.00'	88.00'	88.00'	S 0°10'10" E	12°17'30"
C5	238.00'	53.00'	18.00'	53.00'	N 0°11'10" W	8°01'34"
C6	284.00'	38.00'	18.00'	38.00'	N 0°11'10" W	8°01'34"
C7	284.44'	88.00'	88.00'	88.00'	S 0°10'10" E	12°17'30"
C8	280.00'	41.18'	20.00'	41.12'	S 17°24'18" E	11°46'20"

MINIMUM BUILDING ELEVATIONS

LOT #	CLEAN-OUT ELEVATION	MINIMUM BUILDING ELEVATION
1	1284.62	1287.55
2	1284.67	1287.70
3	1285.29	1288.05
4	1285.63	1288.70
5	1286.15	1288.80
6	1286.67	1290.00
7	1287.52	1290.70
8	1288.20	1291.10
9	1287.31	1290.25
10	1288.44	1290.50
11	1285.88	1288.00
12	1285.60	1288.50
13	1284.88	1287.95



NOTE: THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/S.Y. OF CRS-2 ASPHALT AND COVERED WITH 18 TO 18 LBS/S.Y. OF B-P AGGREGATE BEFORE PLACING OF THE SM-9.5A.

NOTE: TWO (2) CBR TEST ARE REQUIRED FOR WESTSHIRE COURT WITH (1) OF THE TESTS BEING LOCATED NEAR THE INTERSECTION WITH MONET DRIVE. (SEE CONSTRUCTION NOTES 7 AND 8.)

SITE AND ZONING TABULATIONS

CURRENT ZONING: PLANNED RESIDENTIAL DEVELOPMENT (CLUSTER HOME AREA)

PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS

SITE AREA: 3.87 ACRES

PROPOSED NUMBER OF LOTS: 13

MINIMUM LOT AREA ALLOWED: 2,800 S.F.

MINIMUM LOT AREA PROPOSED: 2,400 S.F.

MINIMUM FRONTAGE REQUIRED: 25'

MINIMUM REQUIRED SETBACKS:

FRONT: 15'

REAR: 20'

SIDE YARD: 10' TOTAL (NO WALL HAVING A WINDOW, DOOR OR OTHER OPENING SHALL BE PERMITTED WITHIN 5' OF A SIDE LOT LINE. NO TWO STRUCTURES MAY BE CLOSER THAN 10').

HEIGHT ALLOWED: 45' (PRINCIPAL STRUCTURE)

MAXIMUM BUILDING COVERAGE: 70% MAXIMUM

LOT COVERAGE: 80% MAXIMUM

THIS SITE WILL BE DEVELOPED IN ACCORDANCE WITH ORDINANCE NUMBER 038000-8, APPROVED BY THE BOARD OF SUPERVISORS ON MARCH 24, 1998.

GENERAL NOTES

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY.
2. OWNER/DEVELOPER: BOONE HOMES, INC.
P.O. BOX 8814
ROANOKE, VA 24014
3. THE BOUNDARY IS THE LATEST RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 1994.
4. TOPOGRAPHY DATA IS BASED ON AN AERIAL MAPPING BY P.A.S. AND UPDATED BY LUMSDEN ASSOCIATES, P.C. IN 2004.
5. NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
6. THE PROPERTY ON THESE PLANS SHALL BE ADJESSED BY PUBLIC ROADS.
7. PROPERTY AS SHOWN DOES NOT LIE WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS DEFINED BY THE FLOOD INSURANCE RATE MAP # 8181C D083 D, DATED 1983.
8. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY.
9. WATER METER SIZE SHALL BE 5/8" FOR ALL LOTS.
10. ALL WATER LINE SERVICE CONNECTIONS REQUIRE PRESSURE REDUCING VALVES.
11. STORMWATER MANAGEMENT COMPLIANCE FOR THIS SITE IS ACHIEVED THROUGH THE EXISTING FACILITY DESIGN AS CONSTRUCTED WITH "SECTION NO. 1, THE GROVES".
12. IT SHALL BE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM-SEWER SYSTEMS SHOULD THESE SYSTEMS BECOME SILENT OR BLOCKED IN ANYWAY DUE TO PROPOSED DEVELOPMENT.
13. THE PROPOSED PLANS CALL FOR THE DEVELOPER TO TIE INTO AN EXISTING STORM SEWER LOCATED WITHIN THE VDOT RIGHT-OF-WAY. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO REPLACE OR REPAIR ANY STRUCTURES DAMAGED DURING THE ATTACHMENT.
14. DESIGN CHANGES, SPECIFIED MATERIAL CHANGES AND/OR FIELD CHANGES FROM APPROVED PLANS MUST BE SUBMITTED TO THE VDOT DISTRICT OFFICE PRIOR TO PROCEEDING WITH THE WORK. A LETTER OF EXPLANATION SHALL ACCOMPANY THE REVISED DESIGN PLANS AND/OR ENGINEERING CALCULATIONS WHICH MUST BE SUBMITTED TO VDOT FOR REVIEW AND APPROVAL BY THE RESIDENCY OFFICE OR PENALT OFFICE.
15. ANY DEVIATIONS BETWEEN THE PROPOSED CONTOURS AND PLANS AND THE AS-BUILTS CONDITIONS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS.
16. INLET SHAPING MUST CONFORM TO VDOT STANDARD 106.08 IS-1, INLET SHAPING.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
2. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION INSPECTORS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION OF ALL CHANGES FROM THE APPROVED DEVELOPMENT PLANS.
7. THE PAVEMENT SPECIFICATIONS SHOWN HEREON ARE BASED ON A PREDICTED SUBGRADE CBR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX I OF THE 2000 VIRGINIA DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR RURAL AND URBAN AREAS. IF THE ACTUAL CBR OR RF IS LESS THAN THE PREDICTED VALUES, THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO BASE CONSTRUCTION, SHOULD THE SUBGRADE CBR VALUE AND/OR THE RESILIENCY FACTOR BE LESS THAN THE PREDICTED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH THE ABOVE REFERENCE VDOT MANUAL.
8. THE SUBGRADE OF ALL ROADS SHALL BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO PLACEMENT OF THE BASE COURSE. THE BASE COURSE SHALL BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION FOR DEPTH, TEMPERATURE AND COMPACTION PRIOR TO PLACEMENT OF THE SUBGRADE COURSE.
9. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
10. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
11. FOR EXISTING AND PROPOSED EASEMENT INFORMATION, SEE THE RECORD PLAT.
12. SEWER AND WATER TAPS SHALL BE LOCATED BY THE CONTRACTOR AND MADE BY THE WESTERN VIRGINIA WATER AUTHORITY AT THE CONTRACTOR'S EXPENSE.

GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 8 INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 STANDARD PROCTOR. MAXIMUM MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
6. THE GEOTECHNICAL ENGINEER'S EVALUATION AND TEST RESULTS ON THE STRUCTURAL FILL PLACED FOR BUILDING SITES SHALL BE SUBMITTED TO ROANOKE COUNTY.

OPEN SPACE

TAX PARCEL NUMBER	AREA (ACRES)
008-02-01-46.04	5.85
008-07-09-11.00	0.82
008-07-09-17.00	0.51
008-08-03-38.00	8.95
	14.03

17.4% PERCENT OF TOTAL SITE AREA

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

4664 BRIMBLETON AVENUE
P.O. BOX 20669
ROANOKE, VIRGINIA 24018
PHONE: (540) 774-4411
FAX: (540) 774-9445
E-MAIL: MAIL@LUMSDENPC.COM

SECTION No. 10
"THE GROVES"
PREPARED FOR
BOONE HOMES, INC
CAVE SPRING MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

REVISIONS		DATE				
NO.	DESCRIPTION	1	2	3	4	5
1	1/1/21					
DATE		MAY 24, 2006				
SCALE:		1" = 50'				
COMMISSION NO:		04-040				
SHEET		4 OF 8				