

SITE STATISTICS:

Tax Number(s): 1030422, 1030420, 1030419
Parcel Total Area: 0.43 AC, 0.10 AC, 0.09 = 0.62 AC
Zone: MX - Mixed Use District
Proposed Use: Office, General or Professional
Maximum Building Height: 45'; Acutal: 26'
Impervious Surfaces
Maximum: 70%
Existing: 61%
Proposed: 59%
Building Setbacks:
* Note: Building location not to change from existing.
Front: 10' Min, 30' Max
Side: 5' Min
Rear: 15' Min
Maximum Building Footprint: None; Actual: 10,381 SF

DESIGN CONDITIONS:

Parking Tabulation:
Total Building Area: 10,381 SF
Credit (A): Code(36.3-653.e) -4,000 SF (Reduction for 1st 4,000 SF)
Credit (B): Code(36.3-653.c) -1,276 SF (Reduction for proximity to public transportation)
Applicable Building Area: 5,105 SF

Requirement: One space per 300 SF
Required: 18 Spaces (Including 1 Handicapped Space)
Existing: 20 Spaces (Including 1 Handicapped Space)
Proposed: 20 Spaces (Including 1 Handicapped Space)

Water: WVWA - Existing water line at Allison Ave SW to be relocated as seen on plans.

Sewer: WVWA - No new service required.

Lighting: No site lighting is planned for this project.

Landscape Requirements: See Landscape Plan.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

LAND DISTURBANCE PERMIT: An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

BARRICADES/DITCHES: The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

FINAL ACCEPTANCE/CITY: The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a FIELD SURVEY Final correct set of as-built plans of the newly constructed storm drain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

1401 Franklin Road GUELICH BUILDING ADDITION

PREPARED FOR
1401 FRANKLIN ROAD, LLC
1401 FRANKLIN RD SW
CITY OF ROANOKE, VA
CP # 130041

MARCH 16, 2015

Latest Revision May 19, 2015

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- Owner is responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- All construction will be in accordance with City of Roanoke standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site when work is being executed.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility"; 1-800-652-7001.
- All storm will be visually inspected by the City's Inspector prior to backfilling the trenches.
- Distances and radii referred to are to the face of curb, unless otherwise noted.
- Any Rights-of-way, lot lines, and easements to be dedicated will be done on plats separate from these plans.
- Pavement sections on approved plans are based on a minimum CBR of 7.
- A pre-construction conference should be scheduled with the City of Roanoke Department of Planning Building and Development, to be held at least forty eight (48) hrs prior to any construction.
- Field corrections shall be approved by the development engineer in the City of Roanoke Department of Planning Building and Development prior to such construction.
- Field construction shall honor proposed drainage divides as shown on plans.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.

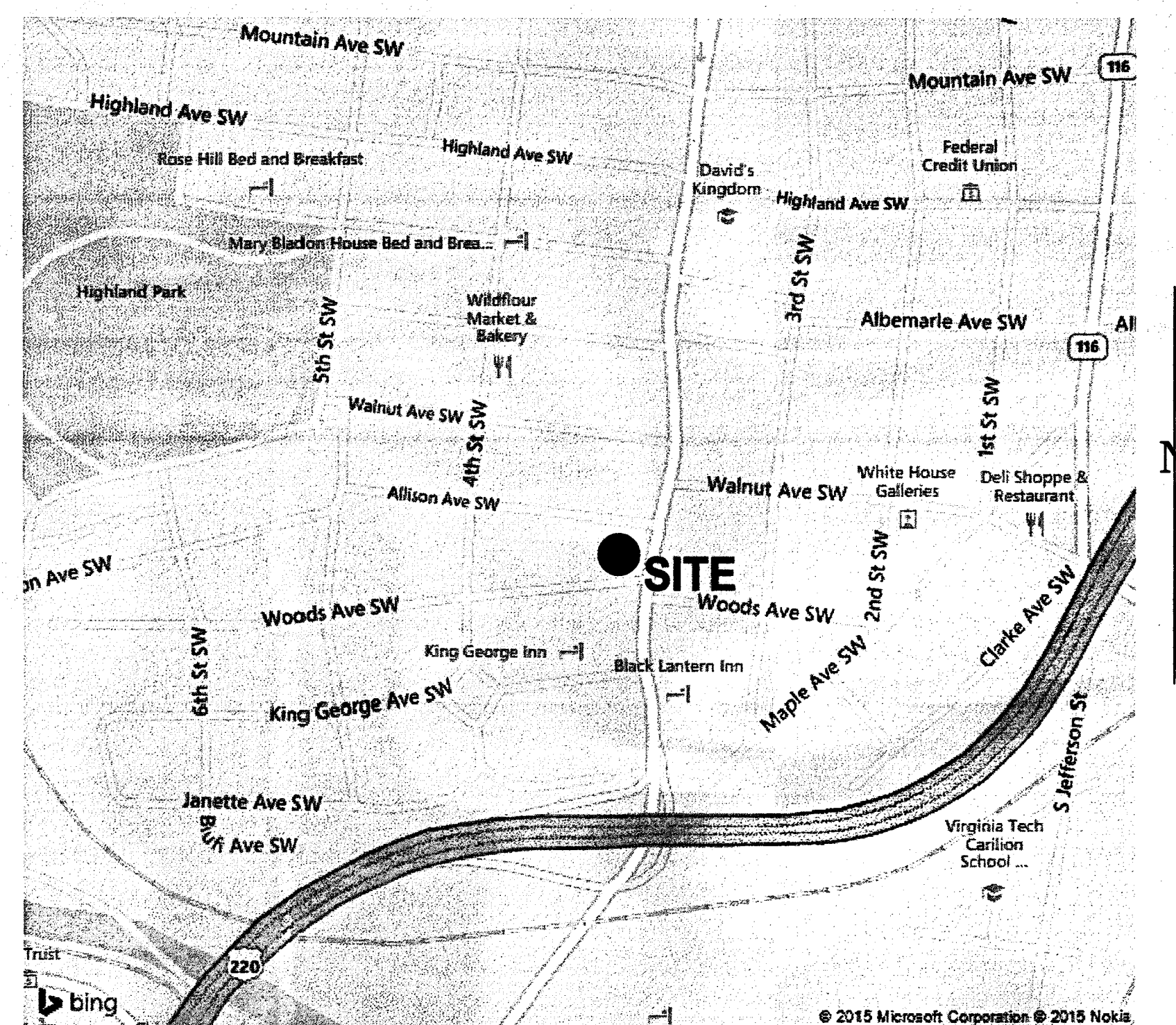
ENGINEER NOTES:

Parker Design Group assumes no responsibility for adequacy of plans or for information on plans until such plans have been approved by the required public agencies.

Any work commenced on a project prior to plan approval is at the sole risk of the developer.

Parker Design Group does not guarantee the completion or quality of performance of the contracts or the completion or quality of contracts by Subcontractors or other third parties.

The purpose of these plans is to grade the site to promote drainage away from building, to provide a storm pipe network to help collect water from the site and remove offsite where needed, and improve site as shown on plans.



VICINITY MAP

(BY BING MAPS)

NO SCALE

CONTACT INFORMATION:

**Engineer/
Surveyor:** Parker Design Group
816 Boulevard
Salem, VA 24253
Ph. 540.387.1153
Fax. 540.389.5767

**Owner/
Developer:** 1401 Franklin Road L.L.C.
Connie Guelich
P.O. Box 21807
Roanoke, VA 24018
Ph. 540.772.4545

SHEET INDEX:

C01	COVER SHEET
C02	EX COND, DEMO, & INITIAL ESC PLAN
C03	SITE LAYOUT, DIMENSIONAL, & UTILITY PLAN
C04	GRADING & ESC PLAN
C05	ESC NARRATIVE
C06	ESC DETAILS
C07	STORM PROFILES & DETAILS
C08	SITE DETAILS
L01	LANDSCAPE PLAN

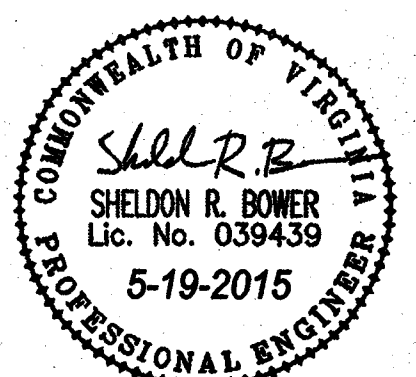
LOCAL APPROVALS:

parker
DESIGN GROUP

816 Boulevard
Salem, VA 24153
Ph: 540-387-1153
Fax: 540-389-5767

www.parkerdg.com

These documents are the property of Parker Design Group (PDG) and may not be reproduced or used without the express permission of PDG. Any reuse of these documents without authorization of PDG will be at the sole risk of the individual or entity utilizing said documents.



1401 Franklin Road
Guelich Building Addition
For 1401 Franklin Road, LLC
Tax#(s): 1030419, 1030420, 1030422
City of Roanoke, Virginia

REVISIONS:

City Architect and Owner Comments
City Comment and Date
19 May 2015

DESIGNED BY: SRB

DRAWN BY: JPA/SRB

CHECKED BY: SRB

SCALE: N/A

DATE: 16 MARCH 2015

SHEET TITLE:

Cover
Sheet

C01

01 OF 09

PROJECT NUMBER:

14-0204-02

As-Built 6.29.18 K. Winslow