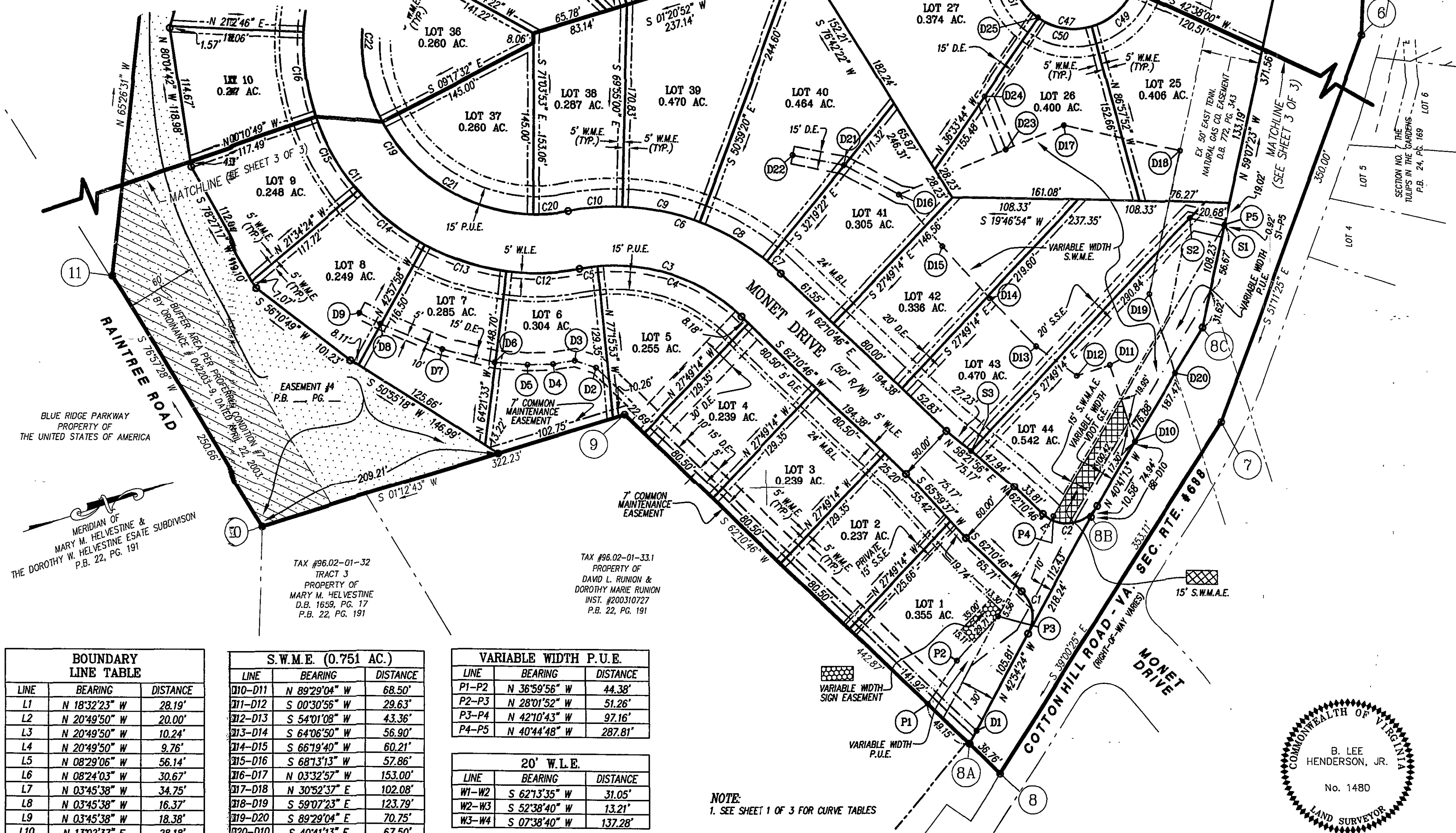
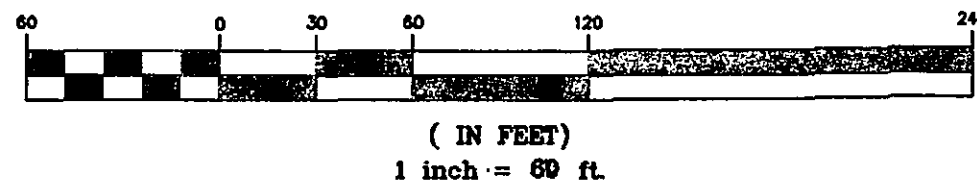


GRAPHIC SCALE



BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 18°32'23" W	28.19'
L2	N 20°49'50" W	20.00'
L3	N 20°49'50" W	10.24'
L4	N 20°49'50" W	9.76'
L5	N 08°29'06" W	56.14'
L6	N 08°24'03" W	30.67'
L7	N 03°45'38" W	34.75'
L8	N 03°45'38" W	16.37'
L9	N 03°45'38" W	18.38'
L10	N 13°02'37" E	28.18'
L11	N 06°10'10" W	22.69'
L12	N 22°53'54" W	14.85'
L13	N 22°01'57" W	26.38'
L14	N 22°01'57" W	2.16'
L15	N 22°01'57" W	24.22'
L16	N 33°54'12" E	21.98'
L17	N 04°17'16" E	14.88'
L18	N 27°01'54" W	19.00'
L19	N 27°01'54" W	15.55'
L20	N 27°01'54" W	3.45'
L21	N 01°20'52" E	24.33'
L22	N 32°24'59" E	19.38'

S.W.M.E. (0.751 AC.)		
LINE	BEARING	DISTANCE
D10-D11	N 89°29'04" W	68.50'
D11-D12	S 00°30'56" W	29.63'
D12-D13	S 54°01'08" W	43.36'
D13-D14	S 64°06'50" W	56.90'
D14-D15	S 66°19'40" W	60.21'
D15-D16	S 68°13'13" W	57.86'
D16-D17	N 03°32'57" W	153.00'
D17-D18	N 30°52'37" E	102.08'
D18-D19	S 59°07'23" E	123.79'
D19-D20	S 89°29'04" E	70.75'
D20-D10	S 40°41'13" E	67.50'

VARIABLE WIDTH P.U.E.		
LINE	BEARING	DISTANCE
P1-P2	N 36°59'56" W	44.38'
P2-P3	N 28°01'52" W	51.26'
P3-P4	N 42°10'43" W	97.16'
P4-P5	N 40°44'48" W	287.81'

20' W.L.E.		
LINE	BEARING	DISTANCE
W1-W2	S 62°13'35" W	31.05'
W2-W3	S 52°38'40" W	13.21'
W3-W4	S 07°38'40" W	137.28'

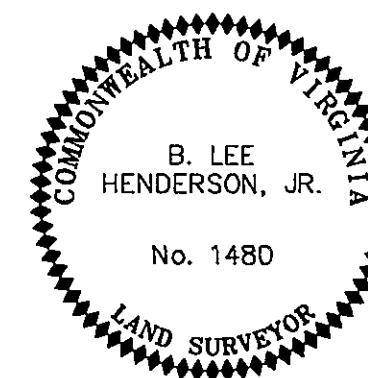
20' S.S.E.		
LINE	BEARING	DISTANCE
S1-S2	S 30°52'37" W	30.00'
S2-S3	S 27°49'14" E	272.16'

15' D.E.		
LINE	BEARING	DISTANCE
D1-D2	S 62°10'46" W	447.81'
D2-D3	S 36°16'34" W	18.92'
D3-D4	S 10°09'08" W	18.55'
D4-D5	S 16°36'14" W	22.14'
D5-D6	S 21°50'18" W	28.19'
D6-D7	S 32°30'48" W	45.63'
D7-D8	S 40°40'56" W	55.84'
D8-D9	S 45°25'44" W	19.96'

NOTE:
1. SEE SHEET 1 OF 3 FOR CURVE TABLES

LEGEND		
INST.	INSTRUMENT	
D.B.	DEED BOOK	
P.B.	PLAT BOOK	
P.G.	PAGE	
EX.	EXISTING	
IP.	IRON PIN	
AC.	ACRES	
S.F.	SQUARE FEET	
R/W	RIGHT OF WAY	
S.S.E.	SANITARY SEWER EASEMENT	
W.L.E.	WATERLINE EASEMENT	
P.U.E.	PUBLIC UTILITY EASEMENT	
U.E.	UTILITY EASEMENT	
D.E.	DRAINAGE EASEMENT	
M.B.L.	MINIMUM BUILDING LINE	
G.E.	GRADING EASEMENT	
S.W.M.E.	STORMWATER MANAGEMENT EASEMENT	
S.W.M.A.E.	STORMWATER MANAGEMENT EASEMENT	
C.E.	ACCESS EASEMENT	
W.M.E.	WALL MAINTENANCE EASEMENT	

PLAT SHOWING
ZERO LOT LINE SUBDIVISION
COTTON HILL LAND CO., LC
CREATING HEREON
"HAMPSHIRE"
AND THE DEDICATION OF 1.326 ACRES
FOR PUBLIC STREET PURPOSES
BEING A SUBDIVISION OF ORIGINAL
TAX MAP #96.02-01-33
SITUATED ALONG COTTON HILL ROAD
ROANOKE COUNTY, VIRGINIA



LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018
PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

DATE: May 15, 2006
COMM. NO.: 95-359
SCALE: 1" = 60'
SHEET 2 OF 3