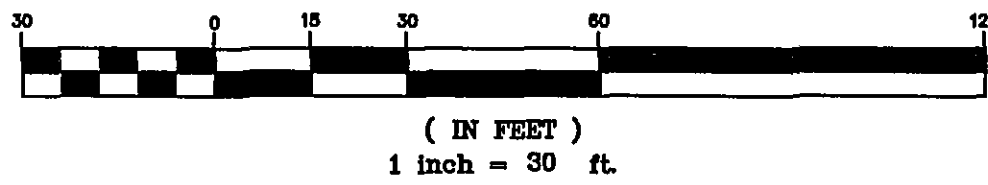


PERMIT NOTE:

THE DEVELOPER, WESTERN VIRGINIA WATER AUTHORITY, IS RESPONSIBLE FOR OBTAINING AND SUBMITTING COPIES TO ROANOKE COUNTY ANY AND ALL PERMITS FROM USACE, FEMA, VA DEQ, VA DCR, AND VA MRC.

GRAPHIC SCALE



UNDERDRAIN NOTE:

1. G.C. VERIFY LOCATION OF FRENCH DRAIN AND PAVEMENT UNDERDRAINS PRIOR TO CONSTRUCTION.
2. ANY DAMAGE DUE TO CONSTRUCTION OF THE TWO NEW WATERLINES TO EXISTING UNDERDRAINS SHALL BE REPAIRED IMMEDIATELY.
3. DEVELOPER SHALL COORDINATE WITH OWNER FOR ANY PLANS FOR NEW UNDERDRAINS IN THE AREA.

NEW PAVEMENT
SEE DETAILS, C-4

SITE INFORMATION:

OWNER: R. FRALIN DEVELOPMENT CORP.
3263 SOMERSET STREET, SW
ROANOKE, VIRGINIA 24014

DEVELOPER: WESTERN VIRGINIA WATER AUTHORITY
601 S. JEFFERSON ST.
ROANOKE, VA 24014

TAX MAP NUMBERS: 35.04-07-16.00; 35.00-02-01.00; 35.00-02-02.00;
35.00-02-03.00

ZONING: R1

USE: SINGLE FAMILY RESIDENTIAL

MINIMUM LOT AREA: 0.165 ACRES
ACTUAL LOT AREA: 1.046 ACRES

MINIMUM LOT FRONTAGE (CDS): 30 FEET
ACTUAL LOT FRONTAGE: 42.7 FEET

SETBACKS: (ZERO LOT LINE)

- FRONT - 30 FEET (EXISTING ROW)
- 24 FEET (INTERIOR ROW)
- SIDE - 10 FEET WHEN ADJ. TO PROPERTY NOT WITHIN COMMON DEVELOPMENT - OTHERWISE ONE 10 FEET YARD AND ONE ZERO FEET YARD
- REAR - 25 FEET WHEN ADJACENT TO PROPERTY NOT WITHIN COMMON DEVELOPMENT - OTHERWISE 20 FEET

MAXIMUM HEIGHT OF BUILDING ALLOWED: 45'
ACTUAL BUILDING HEIGHT: N/A; SEE BPPP

MAXIMUM LOT COVERAGE PERCENTAGE: 30%
ACTUAL LOT COVERAGE PERCENTAGE: N/A; SEE BPPP

MAXIMUM BUILDING COVERAGE PERCENTAGE: 15%
ACTUAL BUILDING COVERAGE PERCENTAGE: N/A; SEE BPPP

PARKING SPACES REQUIRED: 2 SPACES PER UNIT
PARKING SPACES PROVIDED: N/A; SEE BPPP

STACKING SPACES REQUIRED: N/A; RESIDENTIAL
STACKING SPACES PROVIDED: N/A; RESIDENTIAL

REQUIRED BUFFER TYPE: N/A; ZONED R1
CROWN COVERAGE PERCENTAGE: N/A

WALL MAINTENANCE NOTE: A PERPETUAL 5 FOOT WALL MAINTENANCE EASEMENT SHALL BE PROVIDED ON THE LOT ADJACENT TO THE ZERO LOT LINE PROPERTY LINE. THIS EASEMENT SHALL BE KEPT CLEAR OF STRUCTURES OR ANY OTHER IMPROVEMENT WHICH WOULD INFRINGE ON THE USE OF THE EASEMENT, WITH THE EXCEPTION OF FREESTANDING WALLS AND FENCES. THE EASEMENT SHALL BE SHOWN ON THE PLAT AND INCORPORATED INTO EACH DEED TRANSFERRING TITLE TO THE PROPERTY.

CULVERT INSTALLATION NOTES

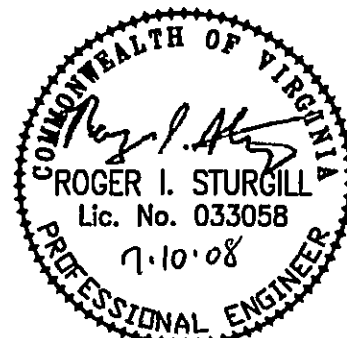
1. THE DEVELOPER, WESTERN VIRGINIA WATER AUTHORITY, IS RESPONSIBLE FOR OBTAINING AND SUBMITTING COPIES TO ROANOKE COUNTY ANY AND ALL PERMITS FROM USACE, FEMA, VA DEQ, VA DCR, AND VA MRC.
2. ALL PROPOSED PIPING FOR THIS PROJECT SHALL BE COUNTERSUNK SIX (6) INCHES BELOW THE EXISTING CHANNEL BOTTOM.
3. ALL WORK TO INSTALL THE CULVERT AND DRIVEWAY PAD ARE TO BE PERFORMED WHEN THE EXISTING PERENNIAL STREAM IS IN A DRY CONDITION. IF CONDITIONS ARE NOT DRY, THEN A TEMPORARY PUMP-AROUND SYSTEM AND IN-STREAM BARRIERS ARE TO BE INSTALLED IN ACCORDANCE WITH THE DETAILS.
4. UPON FINAL INSTALLATION, G.C. SHALL REMOVE ALL CONSTRUCTION DEBRIS, ENSURE ALL PIPES ARE OPEN AND FREE OF LARGE ROCKS, ETC. AND REMOVE ANY TEMPORARY DAMS LOCATED IN THE STREAM BED.
5. ONCE THE CROSSING IS DEEMED ACCEPTABLE FOR EVERYDAY USE, PROPER SIGNAGE SHALL BE INSTALLED ON BOTH SIDES INDICATING "IMPASSABLE DURING HIGH WATER" AND "DO NOT ENTER WHEN FLOODED" FOR THE SAFETY OF THE RESIDENTS, VISITORS AND OTHER VEHICULAR TRAFFIC.

GENERAL NOTES

1. THE LOCATION OF THE PROPOSED RESIDENTIAL DWELLINGS ARE APPROXIMATE AND BUILDING PERMIT PLOT PLANS ARE REQUIRED BY THE COUNTY OF ROANOKE, WHICH WILL PROVIDE THE EXACT SIZE, FINISH FLOOR ELEVATION AND GRADES NECESSARY TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE DWELLING AND DRIVEWAY LOCATIONS.
2. THE RESIDENTIAL DWELLINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, LATEST EDITION.
3. A GEOTECHNICAL REPORT IS REQUIRED AND SHALL BE PROVIDED TO ROANOKE COUNTY FOR ALL SLOPES GREATER THAN 2:1.
4. A GEOTECHNICAL REPORT IS REQUIRED AND SHALL BE PROVIDED TO ROANOKE COUNTY FOR ALL SLOPES GREATER THAN 3:1 AND 25 FEET IN HEIGHT.
5. AN AS-BUILT PLAN SHOWING CONFORMANCE WITH DESIGN IS REQUIRED AND SHALL BE PROVIDED TO ROANOKE COUNTY FOR ALL SLOPES GREATER THAN 2:1 AND 25 FEET IN HEIGHT.
6. COMPACTION TEST RESULTS (PER VDOT STANDARDS) SHALL BE SUBMITTED TO THE PLAN APPROVING AUTHORITY FOR ANY STRUCTURE TO BE SUPPORTED BY FILL MATERIAL.
7. DEVELOPER SHALL ADHERE TO VDOT LUP-OC STANDARD FOR THE PROPOSED OPEN CUT OF THE EXISTING CUL-DE-SAC.

OUTLET PROTECTION

- OP#1 (PERMANENT)**
LOCATION: EXIT OF CULVERT #1
WIDTH AT ENDWALL - 12.1 LF (MAX. WIDTH)
LENGTH - 17 LF; D50 - 7"; DEPTH - 3"
WIDTH AT END - EXTEND UP BANKS TO 3.3' ABOVE CREEK BOTTOM
- OP#2 (PERMANENT)**
LOCATION: EXIT OF CULVERT #2
WIDTH AT ENDWALL - 7.6 LF (MAX. WIDTH)
LENGTH - 25 LF; D50 - 10"; DEPTH - 3"
WIDTH AT END - EXTEND UP BANKS TO 3.1' ABOVE CREEK BOTTOM



BALZER
AND ASSOCIATES, INC.
PLANNERS • ARCHITECTS
ENGINEERS • SURVEYORS

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Phone: 540/381-4290
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1581 Commerce Road
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Verona, Virginia 24482
Phone: 540/248-3220
FAX: 540/248-3221

RESUB. HANGING ROCK TERRACE UTILITY LOT
LAYOUT, GRADING, & ESC PLAN
CATAWBA DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY: A.J.S.

DESIGNED BY: A.J.S.

CHECKED BY: S.M.H.

DATE: 05-28-2008

REVISIONS:

06-18-2008

SCALE: 1"=30'

SHEET NO.

C-2

JOB NO.

R0800117.00

PHASE 1 - EROSION CONTROL SEQUENCE

1. INSTALL SILT FENCE, INLET PROTECTION, AND CONSTRUCTION ENTRANCE
2. CONSTRUCT DRIVEWAY, INSTALL CULVERTS W/ OUTLET PROTECTION, STABILIZE SLOPES WITH BLANKET/MATTING & SEEDING/MULCHING, INSTALL RIPRAP ON INLET BANKS, AND INSTALL CONSTRUCTION ROAD STABILIZATION
3. CONSTRUCT SEDIMENT TRAP, ROW DIVERSION, DIVERSION DIKE, AND CLEAN WATER STORMWATER CONVEYANCE CHANNEL
4. CONSTRUCT PROPOSED IMPROVEMENTS, STABILIZE SLOPES WITH B/M & SEEDING/MULCHING.

* SEE PHASE 2 - EROSION CONTROL SEQUENCE, SHEET C-6