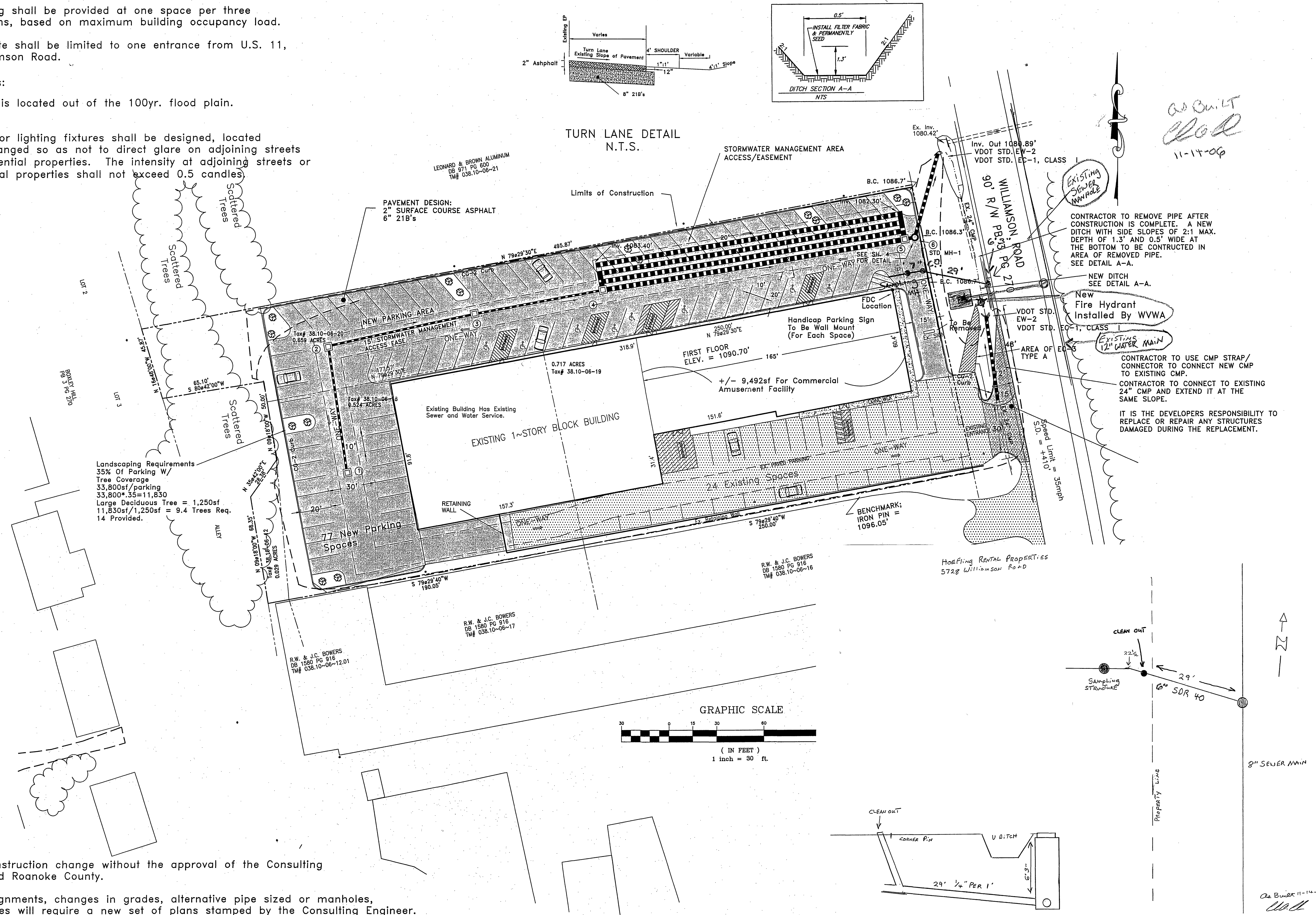


Conditions Per Board of Supervisor's Hearing
Dated August 24, 2004 (Ordinance 082404-12)

1. Parking shall be provided at one space per three persons, based on maximum building occupancy load.
2. The site shall be limited to one entrance from U.S. 11, Williamson Road.

General Notes:

1. Property is located out of the 100yr. flood plain.
2. All exterior lighting fixtures shall be designed, located and arranged so as not to direct glare on adjoining streets or residential properties. The intensity at adjoining streets or residential properties shall not exceed 0.5 candles.



No field construction change without the approval of the Consulting Engineer and Roanoke County.

Any new alignments, changes in grades, alternative pipe sized or manholes, ESC measures will require a new set of plans stamped by the Consulting Engineer. Plan sheets can be 8.5" x 11" if the information is legible.

DATE: 12/08/04

REVISIONS

PIERSON
ENGINEERING
&
SURVEYING

P.O. BOX 311
1324 ROANOKE ROAD
DALEVILLE, VA 24083

(540) 966-3027 TEL
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PARKING LOT EXPANSION FOR
HOEFLONG RENTAL PROPERTIES, LLC
ROANOKE COUNTY, VIRGINIA

PLAN SHEET

COMMONWEALTH OF VIRGINIA
12-19-05
RODERICK F. PIERSON
NO. 023842
PROFESSIONAL ENGINEER
COMMISSION
R2004164
SHEET
2