

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	RR	RAILROAD
APPROX	APPROXIMATE	EXIST	EXISTING	RYS	REAR YARD SETBACK
ASPH	ASPHALT	FDN	FOUNDATION	SAN	SANITARY
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FO	FINISH GRADE	SD	STORM DRAIN
BLDG	BUILDING	GSE	GRADE BREAK ELEVATION	SECT	SECTION
BLK	BLOCK	GBS	GRADE BREAK STATION	SE	SLOPE EASEMENT
BM	BENCHMARK	HOA	HOMEOWNERS ASSOCIATION	SS	SANITARY SEWER
BVCE	BEGIN VERT. CURVE STA.	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE ELEV.	HSI	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
C&M	CORRUGATED METAL PIPE	LT	LEFT	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DI	DROP INLET	MON	MONUMENT	TW	TOP OF WALL
DIA	DIAMETER	NBL	NORTH BOUND LANE	TYP	TYPICAL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VERT	VERTICAL
ELEV	ELEVATION	PVMT	PAVEMENT	VSD	VERTICAL SIGHT DISTANCE
ENTR	ENTRANCE	R	RADIUS	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	RT	RIGHT	YD	YARD
EVCE	END VERT. CURVE STA.	R.O.W.	RIGHT OF WAY		
EVCS	END VERT. CURVE ELEV.	REQD	REQUIRED		
		RR	RAILROAD		

# HOLIDAY INN EXPRESS HOTEL

536 ORANGE AVENUE  
ROANOKE, VA 24016

## SHEET INDEX

C1	COVER SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	LAYOUT & UTILITY PLAN
C4	ORANGE AVENUE ACCESS DRIVE
C5	GRADING PLAN
C6	ORANGE AVENUE ACCESS DRIVE GRADING PLAN
C7	E.S.C. PLAN - PHASE 1
C8	E.S.C. PLAN - PHASE 2
C9	E.S.C. NOTES & DETAILS
C10	NOTES & SOILS INFORMATION
C11	LANDSCAPE PLAN
C12	UTILITY PROFILES 1
C13	UTILITY PROFILES 2
C14	DETAILS A
C15	DETAILS B
C16	DETAILS C
C17	WWVA REGIONAL DETAILS
C18	EXTERIOR LIGHT CUT SHEETS

## WESTERN VIRGINIA WATER AUTHORITY NOTES:

AVAILABILITY No.: 18-076

### GENERAL NOTES:

A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH THE STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CORRECTIONS SHALL BE APPROVED BY THE WWVA ENGINEERING DIVISION PRIOR TO SUCH CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

### WATER NOTES:

WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

### SEWER NOTES:

COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

## CITY OF ROANOKE & UTILITY CONTACTS:

CITY OF ROANOKE DEVELOPMENT REVIEW COORDINATOR - GEORGE NEVERGOLD (540) 853-6501

ROANOKE GAS COMPANY - ED PAINTER (540) 777-3801

VERIZON - STEVEN CRONEMEYER (540) 563-2261

AMERICAN ELECTRIC POWER - KEITH FREEMAN (540) 427-3643

WESTERN VIRGINIA WATER AUTHORITY - MITCH EAKIN (540) 283-2996

## SITE & ZONING SUMMARY:

OWNER: STAR CITY LODGING, LLC  
815 GAINSBORO ROAD  
ROANOKE, VA 24016

### PROPOSED PARCEL #1:

TAX MAP NUMBERS: 3042223, 3020209, 3041712, 3041713, 3041714, 3070909 & A PORTION OF 3020203

NEW PARCEL SIZE: +/- 2.104 AC.

PROPOSED USE: HOTEL

ZONING: MX-PUD (C) - MIXED USE PLANNED UNIT DEVELOPMENT W/CONDITIONS

### CONDITIONS:

1. THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMANCE WITH THE DEVELOPMENT PLAN, PREPARED BY BALZER AND ASSOCIATES, INC., DATED OCTOBER 30, 2017, LAST REVISED NOVEMBER 16, 2017 AND ATTACHED HERETO AS EXHIBIT A, "DEVELOPMENT PLAN", SUBJECT TO THOSE CHANGES WHICH MAY BE REQUIRED BY THE CITY OF ROANOKE DURING COMPREHENSIVE DEVELOPMENT PLAN REVIEW.

ORDINANCE NO. 41024-121817

### MX-PUD DEVELOPMENT REGULATIONS:

MINIMUM LOT SIZE OF DISTRICT: NONE

MINIMUM LOT AREA: 10,000 S.F.

LOT AREA PROVIDED: 2.10 AC.

MINIMUM LOT FRONTAGE: 5' PER FRONTAGE

LOT FRONTAGE PROVIDED: 6.5' - ORANGE AVENUE // 86.5' - WILLIAMSON ROAD

### SETBACKS:

FRONT YARD SETBACK: 0' MIN / NO MAX.

SIDE SETBACK: 5'

REAR YARD SETBACK: 5'

MAXIMUM BUILDING HEIGHT ALLOWED/PROVIDED: 55'/45'-4"

IMPERVIOUS SURFACE RATIO MAXIMUM ALLOWED/PROVIDED: 80%/77%

MINIMUM BUILDING TRANSPARENCY REQUIREMENTS: ALLOWED/PROVIDED  
(FOR BUILDING FACADE FACING WILLIAMSON ROAD)  
GROUND FLOOR: 50%/50%

UPPER FLOORS: 20%/26% FOR 2nd/3rd FLOOR, 22% FOR 4TH FLOOR

MINIMUM TREE CANOPY REQUIRED: 15%

TREE CANOPY PROVIDED: 15%

### PROPOSED PARCEL #2:

TAX MAP NUMBERS: 3020207 & A PORTION OF 3020203

NEW PARCEL SIZE: +/- 0.47 AC. (AFTER 0.01 AC. PUBLIC R.O.W. DEDICATION)

PROPOSED USE: NONE AT THIS TIME

ZONING: CG(C) - COMMERCIAL-GENERAL DISTRICT W/CONDITIONS

### CONDITIONS:

1. NO ADDITIONAL VEHICULAR ACCESS SHALL BE PERMITTED FROM THE ORANGE AVENUE RIGHT OF WAY. ACCESS SHALL BE FROM THE SHARED ENTRANCES OR INTERIOR ACCESS AISLES OF THE DEVELOPMENT. EXISTING ACCESS LOCATIONS FROM WILLIAMSON ROAD AND ORANGE AVENUE INDICATED AS "EXISTING ACCESS A AND EXISTING ACCESS B" AS SHOWN ON THE PLAN TITLED "HOLIDAY INN EXPRESS - DEVELOPMENT PLAN" DATED 10/30/2017, LAST REVISED 11/16/2017, AND PREPARED BY BALZER AND ASSOCIATES, INC.

2. A CROSS ACCESS AND CROSS PARKING EASEMENT/AGREEMENT SHALL BE PROVIDED FOR THE SUBJECT ZONING PARCEL FOR VEHICULAR AND PEDESTRIAN ACCESS.

### SETBACKS:

FRONT YARD SETBACK: 0' MIN / 30' MAX.

SIDE SETBACK: 0'

REAR YARD SETBACK: 0'

MAX FLOOR AREA RATIO ALLOWED/PROVIDED: 5.0/NONE AT THIS TIME

MAXIMUM BUILDING HEIGHT ALLOWED/PROVIDED: 45'/NONE AT THIS TIME

IMPERVIOUS SURFACE RATIO MAXIMUM ALLOWED/PROVIDED: 85%/15% AT THIS TIME

GROUND FLOOR TRANSPARENCY MIN. REQ'D: ALLOWED/PROVIDED: 50%/NONE AT THIS TIME

### PARKING SUMMARY:

1 SPACE PER ROOM // 90 +/- ROOMS - 90 SPACES REQUIRED

104 SPACES PROVIDED

HANDICAPPED PARKING SPACES

REQUIRED: 5 SPACES / PROVIDED: 5 SPACES

LOADING SPACES

REQUIRED: 1 SPACES / PROVIDED: 1 SPACE

City of Roanoke  
Planning, Building, & Development

COMPREHENSIVE DEVELOPMENT PLAN

**APPROVED**

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

Agent, Planning Commission: Ian D. Shaw  
Development Engineer: Jillian Papa Moore  
Zoning Administrator: Jillian Papa Moore

DATE: 3/20/2018  
CITY OF ROANOKE APPROVAL BLOCK



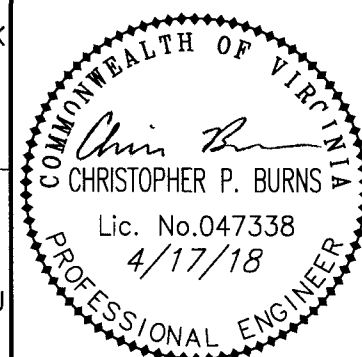
www.balzer.cc

Roanoke  
New River Valley  
Richmond  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

1208 Corporate Circle  
Roanoke, VA 24018  
540-772-9580  
FAX 540-772-8050



HOLIDAY INN EXPRESS HOTEL  
536 ORANGE AVENUE

COVER SHEET

INCODE: ROAOA LOCATION #: 18807  
CITY OF ROANOKE, VIRGINIA

DRAWN BY: BTC  
DESIGNED BY: BTC  
CHECKED BY: CPB  
DATE: 2/9/2018  
SCALE: AS NOTED

REVISIONS:  
3/20/2018  
4/17/2018

SHEET NO.

C1

JOB NO. 04170051.00